



**BUREAU  
VERITAS**

# FACILITY CONDITION ASSESSMENT

*prepared for*

**Montgomery County Public Schools**  
45 West Gude Drive, Suite 4000  
Rockville, MD 20850



Kingsview Middle School  
18909 Kingsview Road  
Germantown, MD 20874

**PREPARED BY:**

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**BV PROJECT #:**

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May 8, 2026

**ON SITE DATE:**

January 12, 2026

**Bureau Veritas**

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# 1. Executive Summary

## Property Overview and Assessment Details

General Information	
<b>Property Type</b>	Middle school campus
<b>Number of Buildings</b>	1
<b>Main Address</b>	18909 Kingsview Road, Germantown, MD 20874
<b>Site Developed</b>	1997
<b>Outside Occupants / Leased Spaces</b>	None
<b>Date(s) of Visit</b>	January 12, 2026
<b>Management Point of Contact</b>	Montgomery County Public Schools Greg Kellner Facilities Manager, Office of Facilities Management Direct 240.740.7746 <a href="mailto:Gregory_Kellner@mcpsmd.org">Gregory_Kellner@mcpsmd.org</a>
<b>On-site Point of Contact (POC)</b>	Abu Kamara
<b>Assessment &amp; Report Prepared By</b>	Sonal George Issac
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<b>AssetCalc Link</b>	Full dataset for this assessment can be found at: <a href="https://www.assetcalc.net/">https://www.assetcalc.net/</a>

## Campus Findings and Deficiencies

### Historical Summary

Kingsview Middle School was constructed in 1997. Most of the building systems and infrastructure remain original to the initial construction. Select upgrades have been completed, including restroom renovations in 2021 and a full roof replacement in 2023. A portion of the facility is currently shared with the Kingsview Community Center, with several building systems serving both occupancies.

### Architectural

Interior architectural components are generally intact and serviceable. Interior walls and finishes are in good condition, with localized cracking observed in select classrooms, consistent with age-related wear. Acoustic ceiling tiles are aged but functional and nearing the end of their useful life. VCT flooring throughout the building is also aged and approaching the end of its service life. Restrooms renovated in 2021 are in good condition. Exterior envelope components appear well maintained.

### Mechanical, Electrical, Plumbing and Fire (MEPF)

Most HVAC equipment is original to 1997 and is at or near the end of its estimated useful life. Recurring HVAC performance issues and reports of poor indoor air quality were noted in portions of the building, including the main entrances, main office, and select classrooms. Air handlers, chillers, and cooling tower remain operational but are aged. Mechanical room pumps show localized surface corrosion but were observed to be functional. Electrical distribution equipment, transformers, switchgear, and generator are original and performing adequately. Fire alarm and life safety systems that serve both the school and community center areas appear functional.

### Site

The site includes parking areas, sidewalks, and athletic facilities, including tennis courts, outdoor basketball courts, and a baseball field. Parking areas are generally in fair condition, with localized cut-and-patch repairs required. Portions of the sidewalks exhibit deterioration and will require selective replacement. The outdoor basketball court asphalt is in poor condition and recommended for replacement. Other site elements appear generally serviceable.

### Recommended Additional Studies

No additional studies recommended at this time.

## Facility Characteristic Survey

The facility characteristics of school and associated buildings are shown below.

Indoor air quality including temperature and relative humidity level are monitored centrally. Most instructional spaces are equipped with IAQ sensors. Each general and specialty classroom has a heating, ventilation, and air conditioning (HVAC) system capable of maintaining a temperature between 68°F and 75°F and a relative humidity between 30% and 60% at full occupancy. Each general, science, and fine-arts classroom had an HVAC system that continuously moves air and is capable of maintaining a carbon dioxide level of not more than 1,200 parts per million. The temperature, relative humidity and air quality were measured at a work surface in the approximate center of the classroom.

The acoustics with the exception of physical-education spaces, each general and specialty classroom are maintainable at a sustained background sound level of less than 55 decibels. The sound levels were measured at a work surface in the approximate center of the classroom.

Each general and specialty classroom had a lighting system capable of maintaining at least 50 foot-candles of well-distributed light. The school has appropriate task lighting in specialty classrooms where enhanced visibility is required. The light levels measured at a work surface located in the approximate center of the classroom, between clean light fixtures. The school makes efficient use of natural light for students, teachers, and energy conversation.

Classroom spaces, including those for physical education, were sufficient for educational programs that are appropriate for the class-level needs. With the exception of physical-education spaces, each general and specialty classroom contained a work surface and seat for each student in the classroom. The work surface and seat were appropriate for the normal activity of the class conducted in the room.

Each general and specialty classroom had an erasable surface and a surface suitable for projection purposes, appropriate for group classroom instruction, and a display surface. Each general and specialty classroom had storage for classroom materials or access to conveniently located storage.

With the exception of physical-education spaces and music-education spaces, each general and specialty classroom shall have a work surface and seat for the teacher and for any aide assigned to the classroom. The classroom had secure storage for student records that is located in the classroom or is conveniently accessible to the classroom.

The school was constructed with sustainable design practices. The schools use durable, timeless, low-maintenance exterior materials. The school's materials (particularly shell) should withstand time as well as potential impacts related to structural, site and climate changes.

The school is functionally equitable. All students in this school have access to safe, well-maintained, and appropriately equipped learning environments as students in other MCPS schools. As part of the evaluation factor, the MDCl will be presented upon final of all assessments.

## Facility Condition Index (FCI) Depleted Value

A School Facility's total FCI Depleted Value (below) and FCI Replacement Value (above) are the sum of all of its building assets and systems values. A School Facility with full estimated life of all systems (a brand new school) would have a 0 FCI. The FCIs cannot exceed 1.

The Facility Condition Index (FCI) Depleted Value quantifies the depleted life and value of a facility's primary building assets, systems and components such as roofs, windows, walls, and HVAC systems. FCI Depleted Value metrics are useful for estimating the levels of spending necessary to achieve and maintain a specific level of physical condition. Lower scores are better, as facilities with lower FCI scores have fewer building-system deficiencies, are more reliable, and will require less maintenance spending on systems replacement and mission-critical emergencies.

The FCI Depleted Value of this school is 0.621373.

## Immediate Needs

There are no immediate needs to report.



Key Findings



**Parking Lots in Poor Condition.**

Pavement, Asphalt  
Site Kingsview Middle School Site

Uniformat Code: G2020  
Recommendation: **Cut & Patch in 2027**

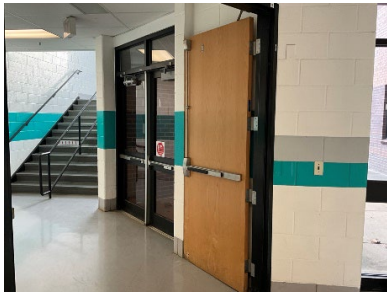
Priority Score: **84.8**

Plan Type:  
Performance/Integrity

Cost Estimate: \$44,000

\$\$\$\$

Asphalt pavement in this area shows multiple cut-and-patch repairs with visible cracking, separation, and surface deterioration. Previous patch work appears uneven and has not held up. - AssetCALC ID: 10200865



**Interior Door in Poor Condition.**

Steel, Fire-Rated at 90 Minutes or Over  
Main Building Kingsview Middle School  
Hallways

Uniformat Code: C1030  
Recommendation: **Replace in 2026**

Priority Score: **83.9**

Plan Type:  
Performance/Integrity

Cost Estimate: \$26,600

\$\$\$\$

Multiple 90-minute fire-rated corridor doors were observed to be in poor operating condition, with failed or non-functional magnetic hold-open devices. As a result, approximately 80% of the doors do not close properly and are routinely left open, limiting their intended fire and life-safety function. - AssetCALC ID: 10200537



**Sports Apparatus in Failed Condition.**

Player/Dugout Benches, 12' Length  
Site Kingsview Middle School Site

Uniformat Code: G2050  
Recommendation: **Replace in 2026**

Priority Score: **82.9**

Plan Type:  
Performance/Integrity

Cost Estimate: \$500

\$\$\$\$

The dugout bench seating does not provide proper support and poses a potential safety concern for users. - AssetCALC ID: 10200857



**Athletic Surfaces & Courts in Poor Condition.**

Basketball/General, Asphalt Pavement  
Site Kingsview Middle School Site

Uniformat Code: G2050  
Recommendation: **Replace in 2027**

Priority Score: **82.8**

Plan Type:  
Performance/Integrity

Cost Estimate: \$61,800

\$\$\$\$



The asphalt surface within the basketball court exhibits multiple visible cracks and age-related deterioration. - AssetCALC ID: 10200852



**Foodservice Equipment in Failed Condition.**

Food Warmer, Proofing Cabinet on Wheels  
Main Building Kingsview Middle School Kitchen

Uniformat Code: E1030  
Recommendation: **Replace in 2026**

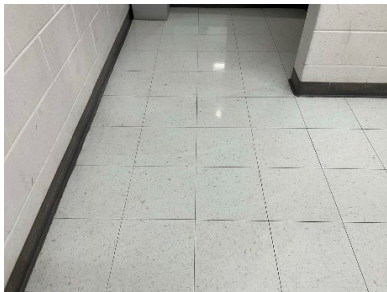
Priority Score: **81.9**

Plan Type:  
Performance/Integrity

Cost Estimate: \$1,700

\$\$\$\$

The mobile food warmer/proofing cabinet is non-operational at the time of inspection and considered failed. - AssetCALC ID: 10200585



**Flooring in Poor Condition.**

Vinyl Tile (VCT)  
Community Center Kingsview Middle School  
Various

Uniformat Code: C2030  
Recommendation: **Throughout building in 2027**

Priority Score: **81.8**

Plan Type:  
Performance/Integrity

Cost Estimate: \$80,000

\$\$\$\$

The VCT flooring exhibits widespread cracking, surface wear, cracks, and stains and throughout multiple areas. - AssetCALC ID: 10200894



**Lockers in Poor Condition.**

Steel-Baked Enamel, 12" W x 15" D x 72" H  
Main Building Kingsview Middle School  
Hallways & Common Areas

Uniformat Code: C1090  
Recommendation: **Replace in 2027**

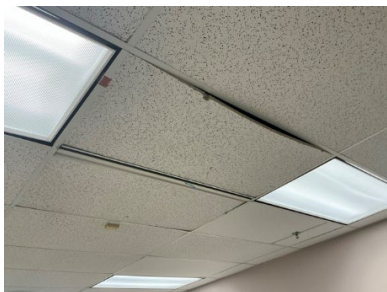
Priority Score: **81.8**

Plan Type:  
Performance/Integrity

Cost Estimate: \$112,500

\$\$\$\$

Multiple locker units throughout the corridors do not properly close or latch. The deficiencies are consistent with age-related wear and misalignment. - AssetCALC ID: 10200559



**Suspended Ceilings in Poor Condition.**

Acoustical Tile (ACT)  
Main Building Kingsview Middle School  
Throughout Building

Uniformat Code: C1070  
Recommendation: **Replace in 2027**

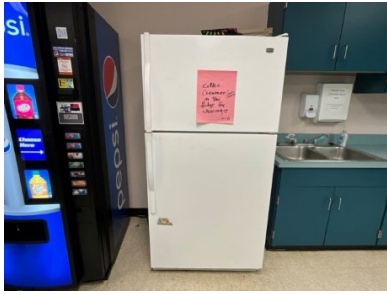
Priority Score: **81.8**

Plan Type:  
Performance/Integrity

Cost Estimate: \$419,400

\$\$\$\$

Ceilings tiles are sagging, stained, and cracked throughout the building. - AssetCALC ID: 10200440



### ADA Kitchen & Laundry Areas

Sink, Height/Location/Clearance  
Main Building Kingsview Middle School Break Room

Uniformat Code: Y1060  
Recommendation: **Modify in 2026**

Priority Score: **63.9**

Plan Type: Accessibility

Cost Estimate: \$1,100

\$\$\$\$

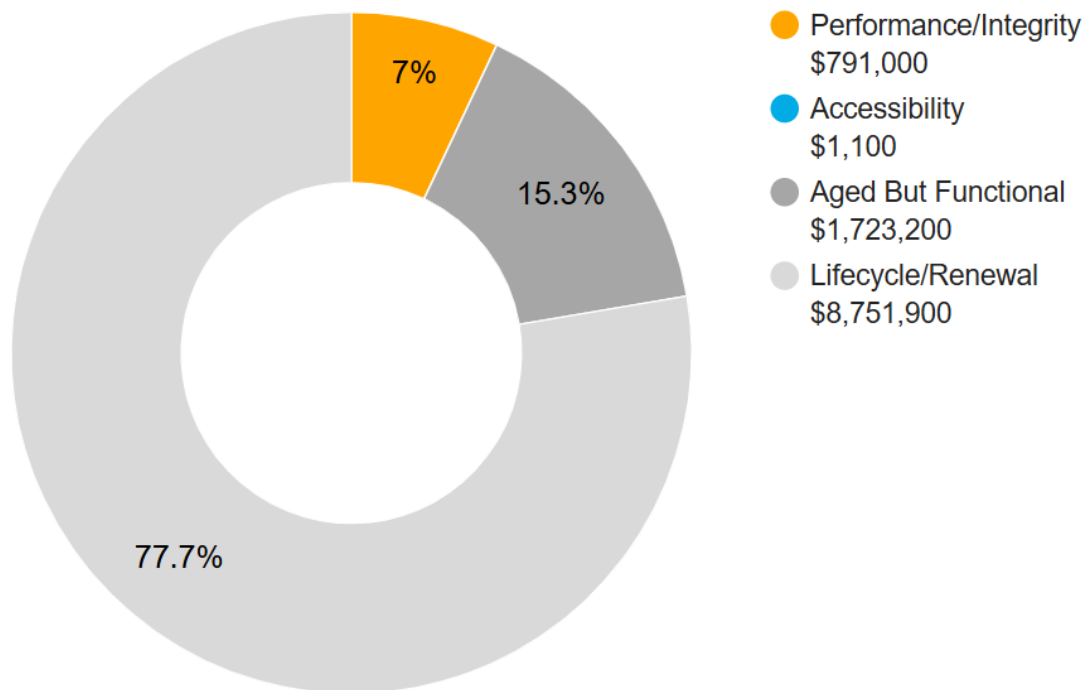
Sink is not ADA accessible. - AssetCALC ID: 10818574

## Plan Types

Each line item in the cost database is assigned a Plan Type, which is the primary reason or rationale for the recommended replacement, repair, or other corrective action. This is the “why” part of the equation. A cost or line item may commonly have more than one applicable Plan Type; however, only one Plan Type will be assigned based on the “best” fit, typically the one with the greatest significance and highest on the list below.

### Plan Type Descriptions & Distribution

<b>Safety</b>	■	An observed or reported unsafe condition that if left unaddressed could result in injury; a system or component that presents potential liability risk.
<b>Performance/Integrity</b>	■	Component or system has failed, is almost failing, performs unreliably, does not perform as intended, and/or poses risk to overall system stability.
<b>Accessibility</b>	■	Does not meet ADA, UFAS, and/or other accessibility requirements.
<b>Environmental</b>	■	Improvements to air or water quality, including removal of hazardous materials from the building or site.
<b>Retrofit/Adaptation</b>	■	Components, systems, or spaces recommended for upgrades in order to meet current standards, facility usage, or client/occupant needs.
<b>Aged But Functional</b>	■	Any component or system that has aged past its industry-average expected useful life (EUL) but is not currently deficient or problematic.
<b>Lifecycle/Renewal</b>	■	Any component or system that is neither deficient nor aged past EUL but for which future replacement or repair is anticipated and budgeted.



**10-YEAR TOTAL: \$11,267,200**



## 2. Main Building



### Main Building: Systems Summary

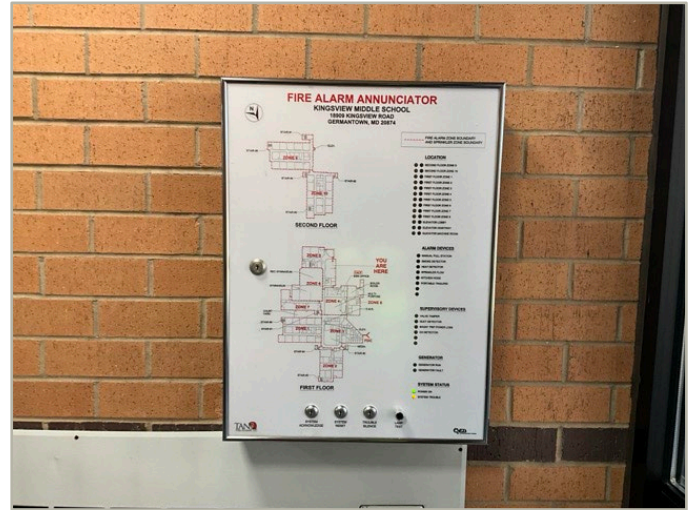
<b>Address</b>	18909 Kingsview Road, Germantown, MD 20874	
<b>GPS Coordinates</b>	39.1661716, -77.2847854	
<b>Constructed/Renovated</b>	1997	
<b>Building Area</b>	140,398 SF	
<b>Number of Stories</b>	2 above grade level	
<i>System</i>	<i>Description</i>	<i>Condition</i>
<b>Structure</b>	Masonry bearing walls with metal roof deck supported by open-web steel joists and concrete strip/wall footing foundation system	Good
<b>Façade</b>	Primary Wall Finish: Brick Windows: Aluminum	Good
<b>Roof</b>	Primary: Flat construction with Built up roofing Secondary: Hip construction with asphalt shingles roofing	Fair
<b>Interiors</b>	Walls: Painted gypsum board and CMU Floors: Carpet, VCT, faux wood plank LVT, ceramic tile, quarry tile, wood strip Ceilings: Painted gypsum board and ACT	Fair
<b>Elevators</b>	Passenger: 1 hydraulic car serving all 2 floors	Fair

<b>Main Building: Systems Summary</b>		
<b>Plumbing</b>	Distribution: Copper supply and cast iron waste & venting Hot Water: Gas domestic boilers with storage tanks Fixtures: Toilets, urinals, and sinks in all restrooms	Fair
<b>HVAC</b>	Central System: Boilers, chillers, air handlers, and cooling tower feeding VAV Non-Central System: Packaged units Supplemental components: Ductless split-systems and make-up air units	--
<b>Fire Suppression</b>	Wet-pipe sprinkler system, fire extinguishers, and kitchen hood system	Fair
<b>Electrical</b>	Source & Distribution: Main switchboard panel with copper wiring Interior Lighting: LED, linear fluorescent, CFL, halogen, incandescent Exterior Building-Mounted Lighting: LED, metal halide Emergency Power: Fuel generator with automatic transfer switch	Fair
<b>Fire Alarm</b>	Alarm panel with smoke detectors, heat detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs	Fair
<b>Equipment/Special</b>	Commercial kitchen equipment	Fair
<b>Accessibility</b>	Presently it does not appear an accessibility study is needed for this building. See the appendix for associated photos and additional information.	
<b>Additional Studies</b>	No additional studies are currently recommended for the building.	
<b>Areas Observed</b>	The interior spaces were observed to gain a clear understanding of the facility's overall condition. Other areas accessed and assessed included the exterior equipment and assets directly serving the buildings, the exterior walls of the facility, and the roofs.	
<b>Key Spaces Not Observed</b>	All key areas of the facility were accessible and observed.	

The table below shows the anticipated costs by trade or building system over the next 20 years.

<b>System Expenditure Forecast</b>						
<b>System</b>	<b>Immediate</b>	<b>Short Term (1-2 yr)</b>	<b>Near Term (3-5 yr)</b>	<b>Med Term (6-10 yr)</b>	<b>Long Term (11-20 yr)</b>	<b>TOTAL</b>
Structure	-	-	-	-	-	-
Facade	-	-	-	\$1,612,600	\$361,500	\$1,974,100
Roofing	-	-	-	\$39,000	\$6,100	\$45,100
Interiors	-	\$591,700	\$623,200	\$516,100	\$1,734,300	\$3,465,400
Conveying	-	-	\$10,400	\$9,000	\$104,500	\$123,900
Plumbing	-	-	\$1,400	\$73,300	\$1,206,900	\$1,281,600
HVAC	-	\$6,500	\$2,726,500	\$95,100	\$1,463,800	\$4,291,900
Fire Protection	-	-	\$15,900	\$180,100	\$2,893,100	\$3,089,100
Electrical	-	\$7,600	\$1,032,700	\$638,800	\$547,400	\$2,226,600
Fire Alarm & Electronic Systems	-	-	\$741,400	\$355,700	\$1,203,200	\$2,300,300
Equipment & Furnishings	-	\$13,100	\$132,100	\$59,900	\$298,700	\$503,800
Accessibility	-	\$1,100	-	-	-	\$1,100
<b>TOTALS (3% inflation)</b>	<b>-</b>	<b>\$620,100</b>	<b>\$5,283,600</b>	<b>\$3,579,600</b>	<b>\$9,819,600</b>	<b>\$19,302,900</b>

### 3. Community Center



#### Community Center: Systems Summary

<b>Address</b>	18909 Kingsview Road, Germantown, MD 20874	
<b>GPS Coordinates</b>	39.1661716, -77.2847854	
<b>Constructed/Renovated</b>	1997	
<b>Building Area</b>	16,000 SF	
<b>Number of Stories</b>	1 above grade level	
<i>System</i>	<i>Description</i>	<i>Condition</i>
<b>Structure</b>	Masonry bearing walls with metal roof deck supported by open-web steel joists and concrete strip/wall footing foundation system	Good
<b>Façade</b>	Primary Wall Finish: Brick Windows: Aluminum	Good
<b>Roof</b>	Primary: Flat construction with Built up roofing	Fair
<b>Interiors</b>	Walls: Painted gypsum board and CMU Floors: Carpet, VCT, ceramic tile, wood strip Ceilings: Painted gypsum board and ACT	Fair
<b>Elevators</b>	None	--
<b>Plumbing</b>	Distribution: Copper supply and cast iron waste & venting Hot Water: Provided from main building Fixtures: Toilets, urinals, and sinks in all restrooms	Fair

<b>Community Center: Systems Summary</b>		
<b>HVAC</b>	Central System: Air handlers fed from main building hot and chill water supply Non-Central System: Suspended electric unit heater	--
<b>Fire Suppression</b>	Wet-pipe sprinkler system, fire extinguishers	Fair
<b>Electrical</b>	Source & Distribution: Main switchboard and distribution panels with copper wiring Interior Lighting: LED, linear fluorescent, CFL Exterior Building-Mounted Lighting: LED, metal halide Emergency Power: Fed from main building	Fair
<b>Fire Alarm</b>	Alarm panel with smoke detectors, heat detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs	Fair
<b>Equipment/Special</b>	None	--
<b>Accessibility</b>	Presently it does not appear an accessibility study is needed for this building. See the appendix for associated photos and additional information.	
<b>Additional Studies</b>	No additional studies are currently recommended for the building.	
<b>Areas Observed</b>	The interior spaces were observed to gain a clear understanding of the facility's overall condition. Other areas accessed and assessed included the exterior equipment and assets directly serving the buildings, the exterior walls of the facility, and the roofs.	
<b>Key Spaces Not Observed</b>	All key areas of the facility were accessible and observed.	

The table below shows the anticipated costs by trade or building system over the next 20 years.

<b>System Expenditure Forecast</b>						
<b>System</b>	<b>Immediate</b>	<b>Short Term (1-2 yr)</b>	<b>Near Term (3-5 yr)</b>	<b>Med Term (6-10 yr)</b>	<b>Long Term (11-20 yr)</b>	<b>TOTAL</b>
Facade	-	-	-	\$6,200	-	\$6,200
Roofing	-	-	-	-	\$76,100	\$76,100
Interiors	-	\$84,900	\$15,300	\$44,100	\$189,400	\$333,600
Plumbing	-	-	\$7,200	\$17,800	\$116,200	\$141,100
HVAC	-	-	\$405,900	-	-	\$405,900
Fire Protection	-	-	-	\$20,400	\$310,100	\$330,500
Electrical	-	-	\$162,000	-	\$148,400	\$310,400
Fire Alarm & Electronic Systems	-	-	\$65,900	\$1,900	\$124,200	\$192,100
<b>TOTALS (3% inflation)</b>	<b>-</b>	<b>\$84,900</b>	<b>\$656,300</b>	<b>\$90,400</b>	<b>\$964,400</b>	<b>\$1,796,000</b>

## 4. Site Summary



Site Information		
<b>Site Area</b>	37.8 acres	
<b>Parking Spaces</b>	260 total spaces all in open lots; 12 of which are accessible	
<i>System</i>	<i>Description</i>	<i>Condition</i>
<b>Site Pavement</b>	Asphalt lots with limited areas of concrete aprons and pavement and adjacent concrete sidewalks, curbs, ramps, and stairs	Fair
<b>Site Development</b>	Property entrance signage; chain link fencing Playgrounds, sports fields and courts with dugouts, fencing and site lights Limited park benches, picnic tables, trash receptacles	Fair
<b>Landscaping &amp; Topography</b>	Significant landscaping features including lawns, trees, bushes, and planters Irrigation not present Low to moderate site slopes throughout	Fair
<b>Utilities</b>	Municipal water and sewer Local utility-provided electric and natural gas	Fair
<b>Site Lighting</b>	Pole-mounted: LED	Fair
<b>Ancillary Structures</b>	Storage shed	Fair

Site Information	
<b>Site Accessibility</b>	Presently it does not appear an accessibility study is needed for the exterior site areas. See the appendix for associated photos and additional information.
<b>Site Additional Studies</b>	No additional studies are currently recommended for the exterior site areas.
<b>Site Areas Observed</b>	The exterior areas within the property boundaries were observed to gain a clear understanding of the site's overall condition.
<b>Site Key Spaces Not Observed</b>	All key areas of the exterior site were accessible and observed.

The table below shows the anticipated costs by trade or site system over the next 20 years.

System Expenditure Forecast						
System	Immediate	Short Term (1-2 yr)	Near Term (3-5 yr)	Med Term (6-10 yr)	Long Term (11-20 yr)	TOTAL
Special Construction & Demo	-	-	-	\$11,700	-	\$11,700
Site Development	-	\$66,000	\$83,400	\$155,500	\$276,400	\$581,200
Site Pavement	-	\$49,500	-	\$423,400	\$528,800	\$1,001,700
Site Utilities	-	-	-	\$162,900	-	\$162,900
<b>TOTALS (3% inflation)</b>	<b>-</b>	<b>\$115,500</b>	<b>\$83,400</b>	<b>\$753,500</b>	<b>\$805,300</b>	<b>\$1,757,700</b>

## 5. ADA Accessibility

Generally, Title II of the Americans with Disabilities Act (ADA) prohibits discrimination by entities to access and use of “areas of public accommodations” and “public facilities” on the basis of disability. Regardless of their age, these areas and facilities must be maintained and operated to comply with the Americans with Disabilities Act Accessibility Guidelines (ADAAG).

A public entity (i.e. city governments) shall operate each service, program, or activity so that the service, program, or activity, when viewed in its entirety, is readily accessible to and usable by individuals with disabilities.

However, this does not:

1. Necessarily require a public entity to make each of its existing facilities accessible to and usable by individuals with disabilities;
2. Require a public entity to take any action that would threaten or destroy the historic significance of an historic property; or
3. Require a public entity to take any action that it can demonstrate would result in a fundamental alteration in the nature of a service, program, or activity or in undue financial and administrative burdens. In those circumstances where personnel of the public entity believe that the proposed action would fundamentally alter the service, program, or activity or would result in undue financial and administrative burdens, a public entity has the burden of proving that compliance with 35.150(a) of this part would result in such alteration or burdens. The decision that compliance would result in such alteration or burdens must be made by the head of a public entity or his or her designee after considering all resources available for use in the funding and operation of the service, program, or activity, and must be accompanied by a written statement of the reasons for reaching that conclusion. If an action would result in such an alteration or such burdens, a public entity shall take any other action that would not result in such an alteration or such burdens but would nevertheless ensure that individuals with disabilities receive the benefits or services provided by the public entity.

Removal of barriers to accessibility should be addressed from a liability standpoint in order to comply with federal law, but the barriers may or may not be building code violations. The Americans with Disabilities Act Accessibility Guidelines are part of the ADA federal civil rights law pertaining to the disabled and are not a construction code. State and local jurisdictions have adopted the ADA Guidelines or have adopted other standards for accessibility as part of their construction codes.

During the FCA, Bureau Veritas performed a limited high-level accessibility review of the facility non-specific to any local regulations or codes. The scope of the visual observation was limited to the same areas observed while performing the FCA and the categories set forth in the material included in the appendix. It is understood by the Client that the limited observations described herein do not comprise a full ADA Compliance Survey, and that such a survey is beyond the scope of this assessment. A full measured ADA survey would be required to identify more specific potential accessibility issues. Additional clarifications of this limited survey:

- This survey was visual in nature and actual measurements were not taken to verify compliance
- Only a representative sample of areas was observed
- Two overview photos were taken for each subsection regardless of perceived compliance or non-compliance
- Itemized costs for individual non-compliant items are included in the dataset
- For any “none” boxes checked or reference to “no issues” identified, that alone does not guarantee full compliance

The following table summarizes the accessibility conditions of the general site and each significant building or building group included in this report:

<b>Accessibility Summary</b>			
<i>Facility</i>	<i>Year Built/ Renovated</i>	<i>Prior Study Provided?</i>	<i>Major/Moderate Issues Observed?</i>
General Site	1997	No	No
Main Building	1997	No	Yes
Community Center	1997	No	No

No detailed follow-up accessibility study is currently recommended since only a single moderate issues was identified at the subject site. Reference the appendix for specific data, photos, and tables or checklists associated with this limited accessibility survey.

## 6. Purpose and Scope

### Purpose

Bureau Veritas was retained by the client to render an opinion as to the Property's current general physical condition on the day of the site visit.

Based on the observations, interviews and document review outlined below, this report identifies significant deferred maintenance issues, existing deficiencies, and material code violations of record, which affect the Property's use. Opinions are rendered as to its structural integrity, building system condition and the Property's overall condition. The report also notes building systems or components that have realized or exceeded their typical expected useful lives.

The physical condition of building systems and related components are typically defined as being in one of five condition ratings. For the purposes of this report, the following definitions are used:

Condition Ratings	
<b>Excellent</b>	New or very close to new; component or system typically has been installed within the past year, sound and performing its function. Eventual repair or replacement will be required when the component or system either reaches the end of its useful life or fails in service.
<b>Good</b>	Satisfactory as-is. Component or system is sound and performing its function, typically within the first third of its lifecycle. However, it may show minor signs of normal wear and tear. Repair or replacement will be required when the component or system either reaches the end of its useful life or fails in service.
<b>Fair</b>	Showing signs of wear and use but still satisfactory as-is, typically near the median of its estimated useful life. Component or system is performing adequately at this time but may exhibit some signs of wear, deferred maintenance, or evidence of previous repairs. Repair or replacement will be required due to the component or system's condition and/or its estimated remaining useful life.
<b>Poor</b>	Component or system is significantly aged, flawed, functioning intermittently or unreliably; displays obvious signs of deferred maintenance; shows evidence of previous repair or workmanship not in compliance with commonly accepted standards; has become obsolete; or exhibits an inherent deficiency. The present condition could contribute to or cause the deterioration of contiguous elements or systems. Either full component replacement is needed or repairs are required to restore to good condition, prevent premature failure, and/or prolong useful life.
<b>Failed</b>	Component or system has ceased functioning or performing as intended. Replacement, repair, or other significant corrective action is recommended or required.
<b>Not Applicable</b>	Assigning a condition does not apply or make logical sense, most commonly due to the item in question not being present.

## Scope

The standard scope of the Facility Condition Assessment includes the following:

- Visit the Property to evaluate the general condition of the building and site improvements, review available construction documents in order to familiarize ourselves with, and be able to comment on, the in-place construction systems, life safety, mechanical, electrical, and plumbing systems, and the general built environment.
- Identify those components that are exhibiting deferred maintenance issues and provide cost estimates for Immediate Costs and Replacement Reserves based on observed conditions, maintenance history and industry standard useful life estimates. This will include the review of documented capital improvements completed within the last five-year period and work currently contracted for, if applicable.
- Provide a full description of the Property with descriptions of in-place systems and commentary on observed conditions.
- Provide a high-level categorical general statement regarding the subject Property's compliance to Title III of the Americans with Disabilities Act. This will not constitute a full ADA survey, but will help identify exposure to issues and the need for further review.
- Obtain background and historical information about the facility from a building engineer, property manager, maintenance staff, or other knowledgeable source. The preferred methodology is to have the client representative or building occupant complete a Pre-Survey Questionnaire (PSQ) in advance of the site visit. Common alternatives include a verbal interview just prior to or during the walk-through portion of the assessment.
- Review maintenance records and procedures with the in-place maintenance personnel.
- Observe a representative sample of the interior spaces/units, including vacant spaces/units, to gain a clear understanding of the property's overall condition. Other areas to be observed include the exterior of the property, the roofs, interior common areas, and the significant mechanical, electrical and elevator equipment rooms.
- Provide recommendations for additional studies, if required, with related budgetary information.
- Provide an Executive Summary at the beginning of this report, which highlights key findings and includes a Facility Condition Index as a basis for comparing the relative conditions of the buildings within the portfolio.

## 7. Opinions of Probable Costs

Cost estimates are embedded throughout this report, including the detailed Replacement Reserves report in the appendix. The cost estimates are predominantly based on construction rehabilitation costs developed by the *RSMeans data from Gordian*. While the *RSMeans data from Gordian* is the primary reference source for the Bureau Veritas cost library, secondary and supporting sources include but are not limited to other industry experts work, such as *Marshall & Swift* and *CBRE Whitestone*. For improved accuracy, additional research integrated with Bureau Veritas's historical experience with past costs for similar properties, city cost indexes, and assumptions regarding future economic conditions also come into play when deemed necessary. Invoice or bid documents provided either by the owner or facility construction resources may be reviewed early in the process or for specific projects as warranted.

Opinions of probable costs should only be construed as preliminary, order of magnitude budgets. Actual costs most probably will vary from the consultant's opinions of probable costs depending on such matters as type and design of suggested remedy, quality of materials and installation, manufacturer and type of equipment or system selected, field conditions, whether a physical deficiency is repaired or replaced in whole, phasing or bundling of the work (if applicable), quality of contractor, quality of project management exercised, market conditions, use of subcontractors, and whether competitive pricing is solicited, etc. Certain opinions of probable costs cannot be developed within the scope of this guide without further study. Opinions of probable cost for further study should be included in the FCA.

### Methodology

Based upon site observations, research, and judgment, along with referencing Expected Useful Life (EUL) tables from various industry sources, Bureau Veritas opines as to when a system or component will most probably necessitate replacement. Accurate historical replacement records, if provided, are typically the best source of information. Exposure to the elements, initial quality and installation, extent of use, the quality and amount of preventive maintenance exercised, etc., are all factors that impact the effective age of a system or component. As a result, a system or component may have an effective age that is greater or less than its actual chronological age. The Remaining Useful Life (RUL) of a component or system equals the EUL less its *effective age*, whether explicitly or implicitly stated. Projections of Remaining Useful Life (RUL) are based primarily on age and condition with the presumption of continued use and maintenance of the Property similar to the observed and reported past use and maintenance practices, in conjunction with the professional judgment of Bureau Veritas's assessors. Significant changes in occupants and/or usage may affect the service life of some systems or components.

Where quantities could not be or were not derived from an actual construction document take-off or facility walk-through, and/or where systemic costs are more applicable or provide more intrinsic value, budgetary square foot and gross square foot costs are used. Estimated costs are based on professional judgment and the probable or actual extent of the observed defect, inclusive of the cost to design, procure, construct and manage the corrections.

To account for differences in prices between locations, the base costs are modified by geographical location factors to adjust for market conditions, transportation costs, or other local contributors. When requested by the client, the costs may be further adjusted by several additional factors including; labor rates (prevailing minimum wage), general contractor fees for profit and overhead, and insurance. If desired, costs for design and permits, and a contingency factor, may also be included in the calculations.

## Definitions

### Immediate Needs

Immediate Needs are line items that require immediate action as a result of: (1) material existing or potential unsafe conditions, (2) failed or imminent failure of mission critical building systems or components, or (3) conditions that, if not addressed, have the potential to result in, or contribute to, critical element or system failure within one year or will most probably result in a significant escalation of its remedial cost.

For database and reporting purposes the line items with RUL=0, and commonly associated with *Safety* or *Performance/Integrity* Plan Types, are considered Immediate Needs.

### Replacement Reserves

Cost line items traditionally called Replacement Reserves (equivalently referred to as Lifecycle/Renewals) are for recurring probable renewals or expenditures, which are not classified as operation or maintenance expenses. The replacement reserves should be budgeted for in advance on an annual basis. Replacement Reserves are reasonably predictable both in terms of frequency and cost. However, Replacement Reserves may also include components or systems that have an indeterminable life but, nonetheless, have a potential for failure within an estimated time period.

Replacement Reserves generally exclude systems or components that are estimated to expire after the reserve term and are not considered material to the structural and mechanical integrity of the subject property. Furthermore, systems and components that are not deemed to have a material effect on the use of the Property are also excluded. Costs that are caused by acts of God, accidents, or other occurrences that are typically covered by insurance, rather than reserved for, are also excluded.

Replacement costs are solicited from ownership/property management, Bureau Veritas's discussions with service companies, manufacturers' representatives, and previous experience in preparing such schedules for other similar facilities. Costs for work performed by the ownership's or property management's maintenance staff are also considered.

Bureau Veritas's reserve methodology involves identification and quantification of those systems or components requiring capital reserve funds within the assessment period. The assessment period is defined as the effective age plus the reserve term. Additional information concerning system or component replacement costs (in today's dollars), typical expected useful lives, and remaining useful lives were estimated so that a funding schedule could be prepared. The Replacement Reserves Schedule presupposes that all required remedial work has been performed or that monies for remediation have been budgeted for items defined as Immediate Needs.

For the purposes of 'bucketizing' the System Expenditure Forecasts in this report, the Replacement Reserves have been subdivided and grouped as follows: Short Term (years 1-3), Near Term (years 4-5), Medium Term (years 6-10), and Long Term (years 11-20).

### Key Findings

In an effort to highlight the most significant cost items and not be overwhelmed by the Replacement Reserves report in its totality, a subsection of Key Findings is included within the Executive Summary section of this report. Key Findings typically include repairs or replacements of deficient items within the first five-year window, as well as the most significant high-dollar line items that fall anywhere within the ten-year term. Note that while there is some subjectivity associated with identifying the Key Findings, the Immediate Needs are always included as a subset.

## 8. Certification

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Montgomery County Public Schools (the Client) retained Bureau Veritas to perform this Facility Condition Assessment in connection with its continued operation of Kingsview Middle School, 18909 Kingsview Road, Germantown, MD 20874 the "Property". It is our understanding that the primary interest of the Client is to locate and evaluate materials and building system defects that might significantly affect the value of the property and to determine if the present Property has conditions that will have a significant impact on its continued operations.

The conclusions and recommendations presented in this report are based on the brief review of the plans and records made available to our Project Manager during the site visit, interviews of available property management personnel and maintenance contractors familiar with the Property, appropriate inquiry of municipal authorities, our Project Manager's walk-through observations during the site visit, and our experience with similar properties.

No testing, exploratory probing, dismantling or operating of equipment or in-depth studies were performed unless specifically required under the *Purpose and Scope* section of this report. This assessment did not include engineering calculations to determine the adequacy of the Property's original design or existing systems. Although walk-through observations were performed, not all areas may have been observed (see Section 1 for specific details). There may be defects in the Property, which were in areas not observed or readily accessible, may not have been visible, or were not disclosed by management personnel when questioned. The report describes property conditions at the time that the observations and research were conducted.

This report has been prepared for and is exclusively for the use and benefit of the Client identified on the cover page of this report. The purpose for which this report shall be used shall be limited to the use as stated in the contract between the client and Bureau Veritas.

This report, or any of the information contained therein, is not for the use or benefit of, nor may it be relied upon by any other person or entity, for any purpose without the advance written consent of Bureau Veritas. Any reuse or distribution without such consent shall be at the client's or recipient's sole risk, without liability to Bureau Veritas.

**Prepared by:** Sonal George Issac  
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**Reviewed by:**

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## 9. Appendices

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- Appendix A: Photographic Record
- Appendix B: Site Plan(s)
- Appendix C: Pre-Survey Questionnaire(s)
- Appendix D: Accessibility Review and Photos
- Appendix E: Component Condition Report
- Appendix F: Replacement Reserves
- Appendix G: Equipment Inventory List



# Appendix A:

## Photographic Record

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## Photographic Overview



1 - FRONT ELEVATION



2 - RIGHT ELEVATION



3 - LEFT ELEVATION



4 - REAR ELEVATION



5 - PRIMARY ROOF OVERVIEW



6 - SECONDARY ROOF OVERVIEW

## Photographic Overview



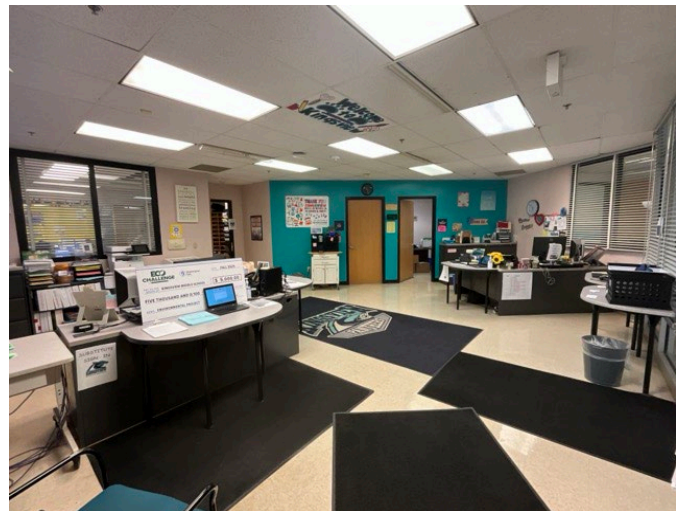
7 - STRUCTURAL OVERVIEW



8 - BUILDING FACADE



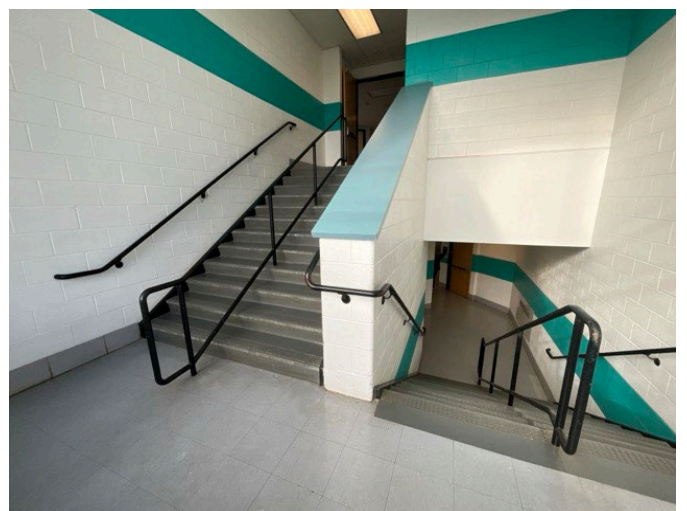
9 - LOBBY



10 - MAIN OFFICE



11 - WORK ROOM



12 - STAIRWAYS

## Photographic Overview



13 - HALLWAY



14 - OFFICE SPACE



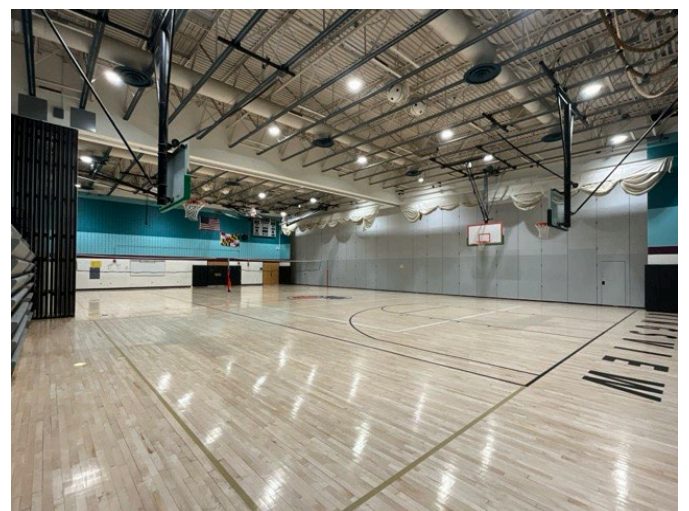
15 - BREAK ROOM



16 - HEALTHROOM



17 - MEDIA CENTER



18 - GYMNASIUM



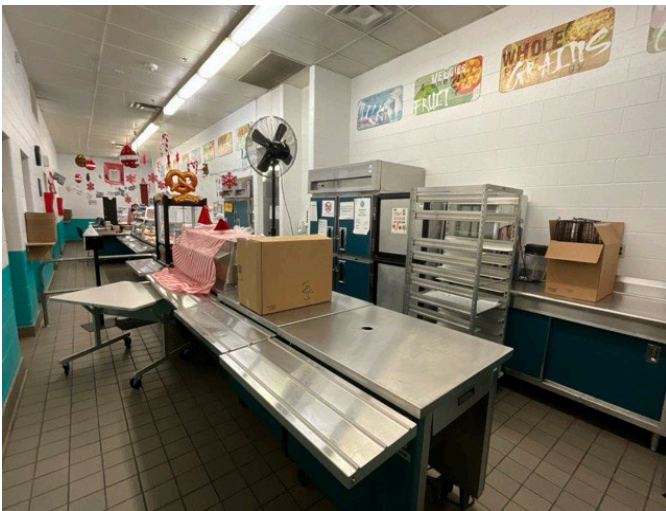
## Photographic Overview



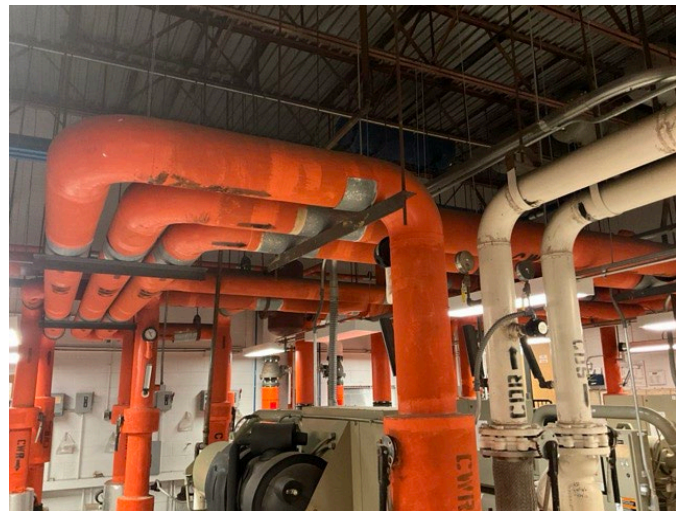
19 - STAGE



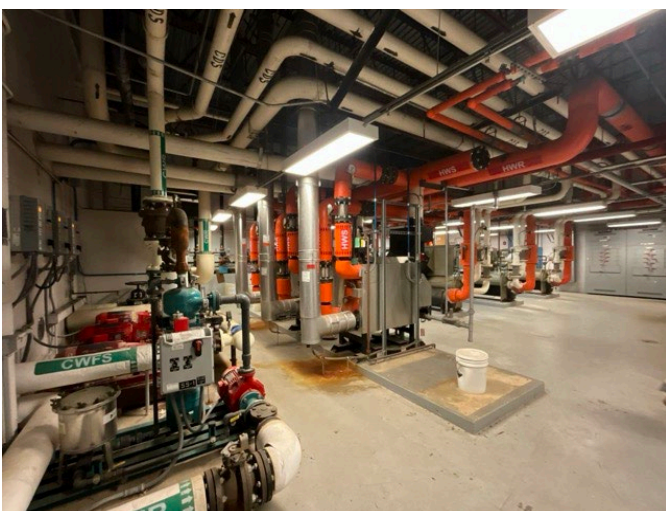
20 - CAFETERIA



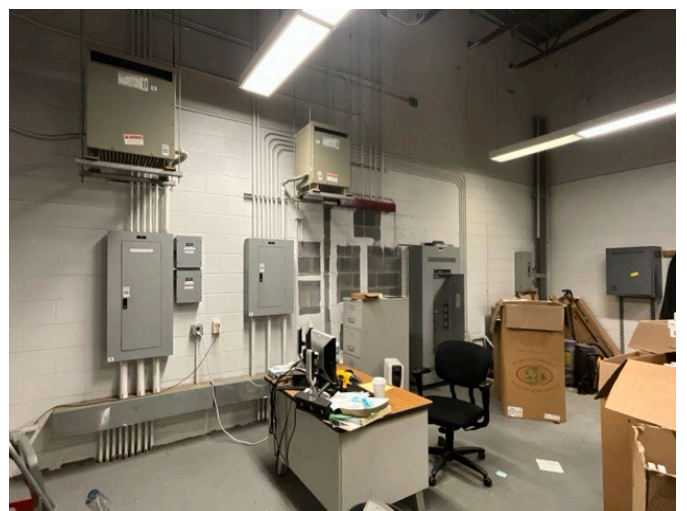
21 - KITCHEN



22 - DOMESTIC WATER PIPING

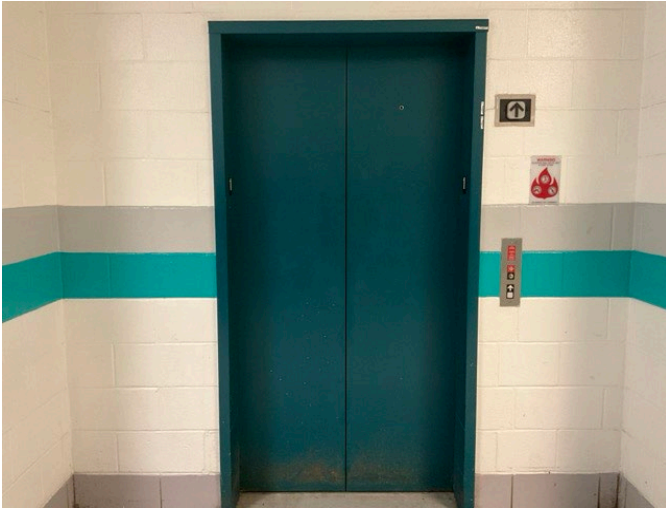


23 - MAIN MECHANICAL ROOM



24 - MAIN ELECTRICAL ROOM

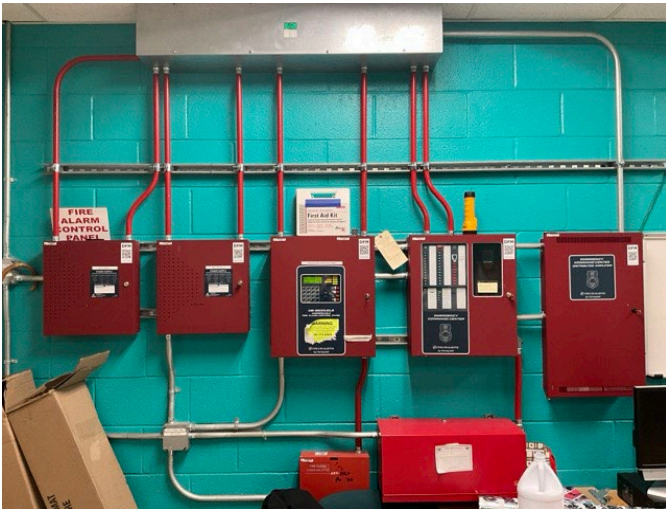
## Photographic Overview



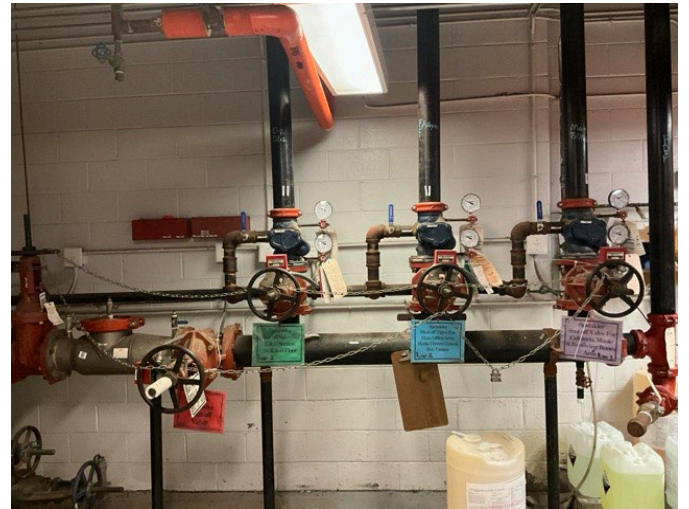
25 - ELEVATOR



26 - ELEVATOR CONTROL ROOM



27 - FIRE ALARM PANEL



28 - FIRE SPRINKLER RISERS



29 - DOMESTIC WATER BOILERS



30 - ROOFTOP MECHANICAL EQUIPMENT

### Photographic Overview



31 - EMERGENCY GENERATOR



32 - PROPERTY SIGNAGE



33 - MAIN PARKING AREA



34 - TENNIS COURTS



35 - SPORTS COURTS AND FIELD

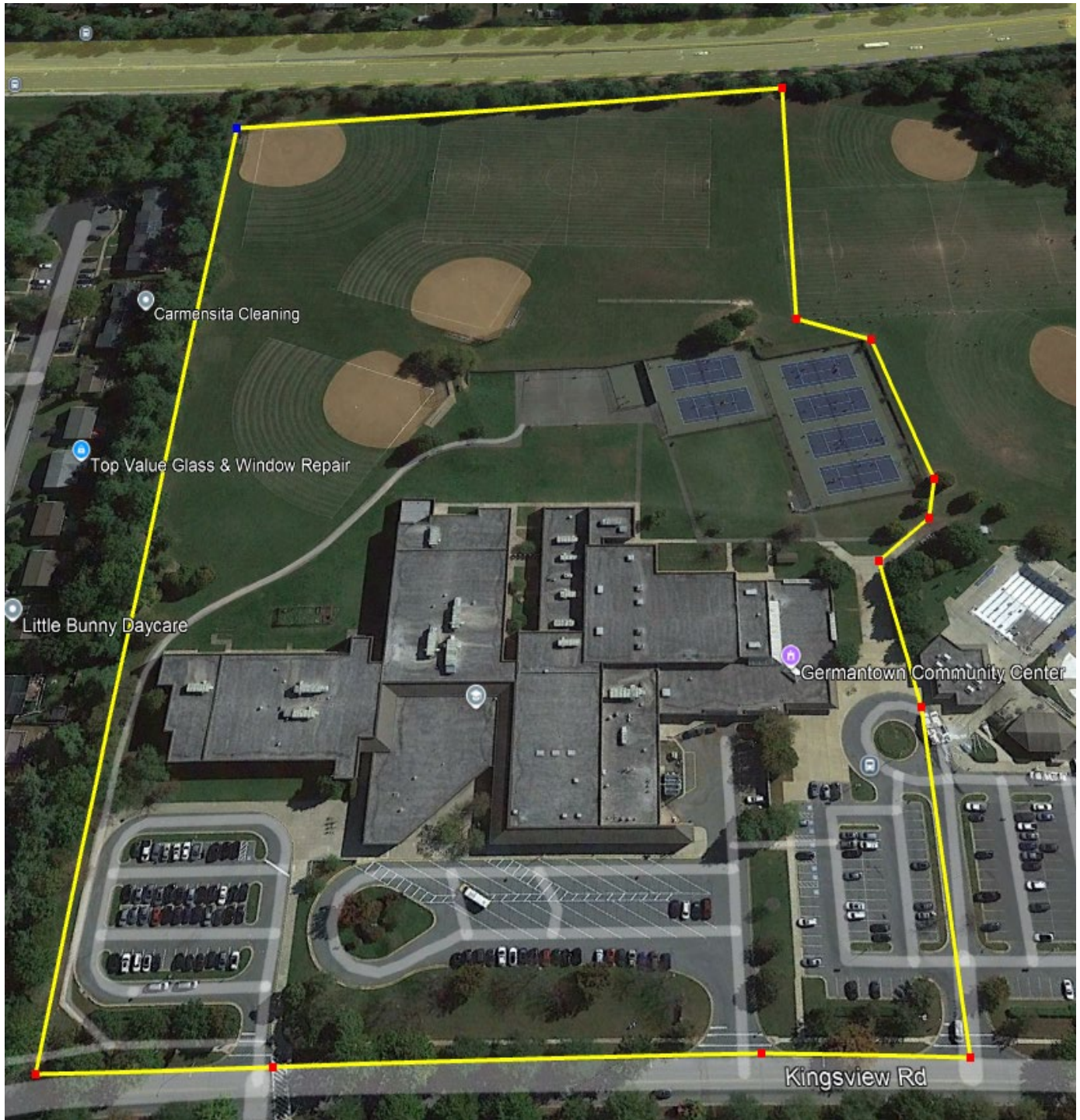



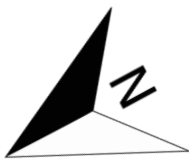
36 - SITE FURNISHING

## Appendix B: Site Plan(s)

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# Site Plan



 <p><b>BUREAU VERITAS</b></p>	<b>Project Number</b>	<b>Project Name</b>	
	172559.25R000-152.354	Kingsview Middle School	
	<b>Source</b>	<b>On-Site Date</b>	
	Google Earth	January 12, 2026	

## **Appendix C:** Pre-Survey Questionnaire(s)

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# BV FACILITY CONDITION ASSESSMENT: PRE-SURVEY QUESTIONNAIRE

**Building / Facility Name:** Kingsview Middle School

**Name of person completing form:** Abu Kamara

**Title / Association w/ property:** Building Service Manager

**Length of time associated w/ property:** 10 years

**Date Completed:** 1/12/2026

**Phone Number:** 2404818917

**Method of Completion:** DURING - verbally completed during assessment

**Directions:** Please answer all questions to the best of your knowledge and in good faith. Please provide additional details in the Comments column, or backup documentation for any **Yes** responses.

Data Overview		Response		
1	Year(s) constructed	Constructed 1997	Renovated	
2	Building size in SF	140,398	<b>SF</b>	
3	Major Renovation/Rehabilitation		Year	Additional Detail
		Facade		
		Roof	2023	Renovated the Roof
		Interiors	2021	All bath rooms got renovated
		HVAC		
		Electrical		
		Site Pavement		
		Accessibility		
4	List other significant capital improvements (focus on recent years; provide approximate date).	None		
5	List any major capital expenditures planned/requested for the next few years. Have they been budgeted?	Planning to Change all the Rooftop HVAC equipment in 2026 summer		
6	Describe any on-going extremely problematic, historically chronic, or immediate facility needs.	Some HAVC equipments doesn't give perfect air conditioning to rooms		

Mark the column corresponding to the appropriate response. Please provide additional details in the Comments column, or backup documentation for any **Yes** responses. (**NA** indicates "Not Applicable", **Unk** indicates "Unknown")

Question		Response				Comments
		Yes	No	Unk	NA	
7	Are there any problems with foundations or structures, like excessive settlement?		X			
8	Are there any wall, window, basement or roof leaks?		X			
9	Has any part of the facility ever contained visible suspect mold growth, or have there been any indoor air quality complaints?	X				Some classrooms and Main Office
10	Are your elevators unreliable, with frequent service calls?		X			
11	Are there any plumbing leaks, water pressure, or clogging/backup issues?		X			
12	Have there been any leaks or pressure problems with natural gas, HVAC piping, or steam service?		X			
13	Are any areas of the facility inadequately heated, cooled or ventilated? Poorly insulated areas?	X				Some rooms
14	Is the electrical service outdated, undersized, or problematic?		X			
15	Are there any problems or inadequacies with exterior lighting?		X			
16	Is site/parking drainage inadequate, with excessive ponding or other problems?		X			
17	Are there any other unresolved construction defects or significant issues/hazards at the property that have not yet been identified above?		X			
18	ADA: Has an accessibility study been previously performed? If so, when?		X			
19	ADA: Have any ADA improvements been made to the property since original construction? Describe.		X			
20	ADA: Has building management reported any accessibility-based complaints or litigation?		X			
21	Are any areas of the property leased to outside occupants?		X			



Signature of Assessor



Signature of POC

## **Appendix D:** Accessibility Review and Photos

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## Visual Checklist - 2010 ADA Standards for Accessible Design

Property Name: Kingsview Middle School

BV Project Number: 172559.25R000-152.354

### Abbreviated Accessibility Checklist

#### Facility History & Interview

Question		Yes	No	Unk	Comments
1	Has an accessibility study been previously performed? If so, when?		X		
2	Have any ADA improvements been made to the property since original construction? Describe.		X		
3	Has building management reported any accessibility-based complaints or litigation?		X		

## Abbreviated Accessibility Checklist

### Parking



OVERVIEW OF ACCESSIBLE PARKING AREA



CLOSE-UP OF STALL

Question		Yes	No	NA	Comments
1	Does the required number of standard ADA designated spaces appear to be provided ?	✘			
2	Does the required number of van-accessible designated spaces appear to be provided ?	✘			
3	Are accessible spaces on the shortest accessible route to an accessible building entrance ?	✘			
4	Does parking signage include the International Symbol of Accessibility ?	✘			
5	Does each accessible space have an adjacent access aisle ?	✘			
6	Do parking spaces and access aisles appear to be relatively level and without obstruction ?	✘			

## Abbreviated Accessibility Checklist

### Exterior Accessible Route



ACCESSIBLE PATH



CURB CUT

Question		Yes	No	NA	Comments
1	Is an accessible route present from public transportation stops and municipal sidewalks on or immediately adjacent to the property ?	✗			
2	Does a minimum of one accessible route appear to connect all public areas on the exterior, such as parking and other outdoor amenities, to accessible building entrances ?	✗			
3	Are curb ramps present at transitions through raised curbs on all accessible routes?	✗			
4	Do curb ramps appear to have compliant slopes for all components ?	✗			
5	Do ramp runs on an accessible route appear to have compliant slopes ?	✗			
6	Do ramp runs on an accessible route appear to have a compliant rise and width ?	✗			

7	Do ramps on an accessible route appear to have compliant end and intermediate landings ?	X			
8	Do ramps and stairs on an accessible route appear to have compliant handrails?	X			
9	For stairways that are open underneath, are permanent barriers present that prevent or discourage access?	X			

# Abbreviated Accessibility Checklist

## Building Entrances



MAIN ENTRANCE



DOOR HARDWARE

Question		Yes	No	NA	Comments
1	Do a sufficient number of accessible entrances appear to be provided ?	✗			
2	If the main entrance is not accessible, is an alternate accessible entrance provided?	✗			
3	Is signage provided indicating the location of alternate accessible entrances ?	✗			
4	Do doors at accessible entrances appear to have compliant maneuvering clearance area on each side ?	✗			
5	Do doors at accessible entrances appear to have compliant hardware ?	✗			
6	Do doors at accessible entrances appear to have a compliant clear opening width ?	✗			

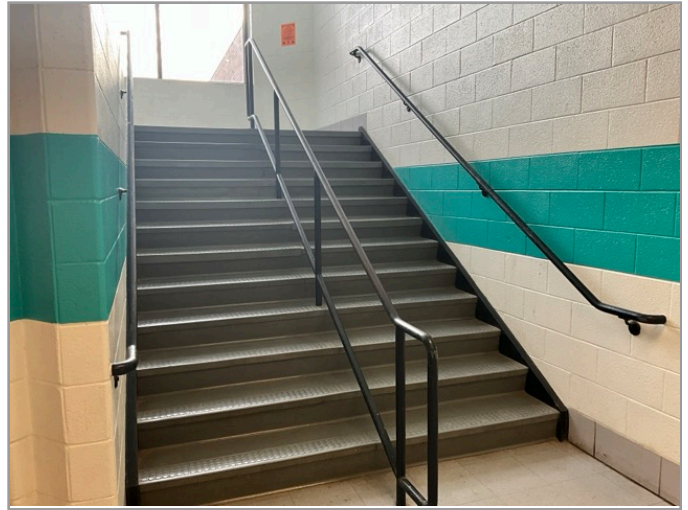
7	Do pairs of accessible entrance doors in series appear to have the minimum clear space between them ?	X			
8	Do thresholds at accessible entrances appear to have a compliant height ?	X			

## Abbreviated Accessibility Checklist

### Interior Accessible Route



ACCESSIBLE INTERIOR RAMP



STAIR RAILS

Question		Yes	No	NA	Comments
1	Does an accessible route appear to connect all public areas inside the building ?	✗			
2	Do accessible routes appear free of obstructions and/or protruding objects ?	✗			
3	Do ramps on accessible routes appear to have compliant slopes ?	✗			
4	Do ramp runs on an accessible route appear to have a compliant rise and width ?	✗			
5	Do ramps on accessible routes appear to have compliant end and intermediate landings ?	✗			
6	Do ramps on accessible routes appear to have compliant handrails ?	✗			

7	Are accessible areas of refuge and the accessible means of egress to those areas identified with accessible signage ?	X			
8	Do public transaction areas have an accessible, lowered service counter section ?	X			
9	Do public telephones appear mounted with an accessible height and location ?	X			
10	Do doors at interior accessible routes appear to have compliant maneuvering clearance area on each side ?	X			
11	Do doors at interior accessible routes appear to have compliant hardware ?	X			
12	Do non-fire hinged, sliding, or folding doors on interior accessible routes appear to have compliant opening force ?	X			
13	Do doors on interior accessible routes appear to have a compliant clear opening width ?	X			

## Abbreviated Accessibility Checklist

### Elevators



FROM CAB LOOKING INTO LOBBY



EMERGENCY CALL PANEL

Question		Yes	No	NA	Comments
1	Are hallway call buttons configured with the "UP" button above the "DOWN" button?	✗			
2	Is accessible floor identification signage present on the hoistway sidewalls on each level ?	✗			
3	Do the elevators have audible and visual arrival indicators at the lobby and hallway entrances?	✗			
4	Do the elevator hoistway and car interior appear to have a minimum compliant clear floor area ?	✗			
5	Do the elevator car doors have automatic re-opening devices to prevent closure on obstructions?	✗			
6	Do elevator car control buttons appear to be mounted at a compliant height ?	✗			

7	Are tactile and Braille characters mounted to the left of each elevator car control button ?	X			
8	Are audible and visual floor position indicators provided in the elevator car?	X			
9	Is the emergency call system on or adjacent to the control panel and does it not require voice communication ?	X			

# Abbreviated Accessibility Checklist

## Public Restrooms



TOILET STALL OVERVIEW



SINK, FAUCET HANDLES AND ACCESSORIES

Question		Yes	No	NA	Comments
1	Do publicly accessible toilet rooms appear to have a minimum compliant floor area ?	✗			
2	Does the lavatory appear to be mounted at a compliant height and with compliant knee area ?	✗			
3	Does the lavatory faucet have compliant handles ?	✗			
4	Is the plumbing piping under lavatories configured to protect against contact ?	✗			
5	Are grab bars provided at compliant locations around the toilet ?	✗			
6	Do toilet stall doors appear to provide the minimum compliant clear width ?	✗			

7	Do toilet stalls appear to provide the minimum compliant clear floor area ?	X			
8	Where more than one urinal is present in a multi-user restroom, does minimum one urinal appear to be mounted at a compliant height and with compliant approach width ?	X			
9	Do accessories and mirrors appear to be mounted at a compliant height ?	X			

## Abbreviated Accessibility Checklist

### Kitchens/Kitchenettes



BREAKROOM OVERVIEW



SINK CLEARANCE

Question		Yes	No	NA	Comments
1	Do kitchens/kitchenettes appear to have a minimum compliant path of travel or area of maneuverability ?	✗			
2	Are the appliances centered for a parallel or forward approach with adequate clear floor space ?	✗			
3	Is there an accessible countertop/preparation space of proper width and height ?	✗			
4	Is there an accessible sink space of proper width and height ?		✗		
5	Does the sink faucet have compliant handles ?	✗			
6	Is the plumbing piping under the sink configured to protect against contact ?		✗		

7	Are the cooktop/range controls front-mounted (or in a location that does not require reaching across the burners) ?	✘			
---	---	---	--	--	--

## Abbreviated Accessibility Checklist

### Playgrounds & Swimming Pools



ACCESSIBLE ROUTE TO PLAYGROUND



OVERVIEW OF PLAYGROUND

Question		Yes	No	NA	Comments
1	Is there an accessible route to the play area / s?	✗			
2	Has the play area been reviewed for accessibility ?	✗			
3	Are publicly accessible swimming pools equipped with an entrance lift ?	✗			

## **Appendix E:** Component Condition Report

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## Component Condition Report | Kingsview Middle School / Main Building

UF L3 Code	Location	Condition	Component/Attributes/Capacity	Quantity	RUL	ID
<b>Structure</b>						
A4020	Throughout Building	Fair	Slab-on-Grade, Concrete, Structural w/ Integral Perimeter Footings, Structural w/ Integral Perimeter Footings	47,000 SF	47	10200605
<b>Facade</b>						
B2010	Building Exterior	Fair	Exterior Walls, Brick/Masonry/Stone, Clean & Seal, Maintain	140,398 SF	11	10200586
B2020	Building Exterior	Fair	Glazing, any type by SF	22,000 SF	9	10200548
B2050	Building Exterior	Fair	Exterior Door, Steel, Standard	17	8	10200456
B2050	Front lobby	Fair	Overhead Door, Residential Garage, 7'x8' (56 SF)	1	7	10200462
B2050	Building Exterior	Fair	Exterior Door, Aluminum-Framed & Glazed, Standard Swing	12	8	10200598
<b>Roofing</b>						
B3010	Roof	Fair	Roofing, Asphalt Shingle, 20-Year Standard	8,100 SF	8	10200450
B3010	Roof	Good	Roofing, Built-Up	120,090 SF	23	10200557
B3060	Roof	Fair	Roof Hatch, Metal	1	12	10200435
B3060	Roof	Fair	Roof Hatch, Metal	1	20	10200546
B3060	Roof	Fair	Roof Hatch, Metal	1	13	10200577
<b>Interiors</b>						
C1010	Hallways & Common Areas	Fair	Movable Partition, Gym Divider, Basic/Manual	100 SF	4	10200538
C1010	Hallways & Common Areas	Fair	Movable Partition, Gym Divider, Basic/Manual	100 SF	4	10200528
C1030	Main Entrance & Additional Entrance	Fair	Interior Door, Aluminum-Framed & Glazed, Standard Swing	10	13	10200439
C1030	Throughout Building	Fair	Interior Door, Wood, Solid-Core	142	13	10200551
C1030	Hallways	Fair	Interior Door, Steel, Standard	7	14	10200443
C1030	Hallways	Poor	Interior Door, Steel, Fire-Rated at 90 Minutes or Over	28	2	10200537
C1070	Throughout Building	Poor	Suspended Ceilings, Acoustical Tile (ACT)	119,838 SF	2	10200440

## Component Condition Report | Kingsview Middle School / Main Building

UF L3 Code	Location	Condition	Component/Attributes/Capacity	Quantity	RUL	ID
C1090	Restrooms	Fair	Toilet Partitions, Plastic/Laminate	18	10	10200499
C1090	Hallways & Common Areas	Poor	Lockers, Steel-Baked Enamel, 12" W x 15" D x 72" H	225 LF	2	10200559
C2010	Throughout Building	Fair	Wall Finishes, any surface, Prep & Paint	224,600 SF	7	10200521
C2030	Auxiliary Gymnasium	Fair	Flooring, Wood, Strip	1,050 SF	5	10200407
C2030	Commercial Kitchen	Fair	Flooring, Quarry Tile	1,700 SF	22	10200492
C2030	Gymnasium	Good	Flooring, Wood, Sports, Refinish	3,700 SF	9	10200434
C2030	Throughout Building	Fair	Flooring, Vinyl Tile (VCT)	110,078 SF	3	10200527
C2030	Library	Fair	Flooring, Carpet, Commercial Tile	2,900 SF	7	10200455
C2030	Stage	Fair	Flooring, Wood, Strip	1,750 SF	7	10200534
C2030	Restrooms	Good	Flooring, Ceramic Tile	3,220 SF	36	10200408
C2050	Main Entrance & Restrooms	Fair	Ceiling Finishes, Gypsum Board/Plaster	4,560 SF	22	10200466
C2050	Gymnasium	Fair	Ceiling Finishes, exposed irregular elements, Prep & Paint	3,700 SF	7	10200581
<b>Conveying</b>						
D1010	Elevator	Fair	Elevator Cab Finishes, Standard	1	5	10200490
D1010	Elevator room	Fair	Passenger Elevator, Hydraulic, 2 Floors, 2500 LB, Renovate	1	16	10200533
D1010	Elevator room	Fair	Elevator Controls, Automatic, 2 Car Cluster	1	6	10200412
<b>Plumbing</b>						
D2010	Restrooms	Fair	Sink/Lavatory, Service Sink, Wall-Hung	21	7	10200473
D2010	Hallways & Common Areas	Fair	Drinking Fountain, Wall-Mounted, Single-Level	6	7	10200453
D2010	Restrooms	Fair	Urinal, Standard	13	7	10200549
D2010	Kitchen	Fair	Sink/Lavatory, Vanity Top, Stainless Steel	1	9	10200562
D2010	Restrooms	Fair	Toilet, Commercial Water Closet	32	13	10200430
D2010	Break room & Office Spaces	Fair	Sink/Lavatory, Vanity Top, Stainless Steel	6	8	10200592
D2010	Throughout Building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	140,398 SF	16	10200604

## Component Condition Report | Kingsview Middle School / Main Building

UF L3 Code	Location	Condition	Component/Attributes/Capacity	Quantity	RUL	ID
D2010	Kitchen	Fair	Sink/Lavatory, Vanity Top, Stainless Steel	1	5	10200536
D2010	Janitor Closet	Fair	Sink/Lavatory, Service Sink, Laundry	1	12	10200540
D2060	Mechanical Room	Fair	Supplemental Components, Compressed Air Dryer, Process Support, 100 CFM	1	12	10200511
D2060	Mechanical Room	Fair	Air Compressor, Tank-Style, 2 HP	1	11	10200579
<b>HVAC</b>						
D3020	Mechanical Room	Fair	Boiler Supplemental Components, Expansion Tank, 40 GAL	1	11	10200448
D3020	Mechanical Room	Fair	Boiler Supplemental Components, Expansion Tank, 45 GAL	1	12	10200603
D3020	Mechanical Room	Fair	Boiler, Gas, HVAC, 2000 MBH [B-2]	1	19	10200481
D3020	Mechanical Room	Fair	Boiler Supplemental Components, Expansion Tank, 45 GAL	1	11	10200539
D3020	Mechanical Room	Fair	Unit Heater, Electric, 6 kW	1	8	10200442
D3020	Mechanical Room	Fair	Boiler Supplemental Components, Expansion Tank, 40 GAL	1	13	10200535
D3020	Mechanical Room	Fair	Boiler Supplemental Components, Expansion Tank, 30 GAL	1	9	10200602
D3020	Mechanical Room	Fair	Boiler, Gas, HVAC, 2000 MBH [B-1]	1	19	10200541
D3020	Mechanical Room	Fair	Boiler Supplemental Components, Expansion Tank, 50 GAL	1	11	10200508
D3020	Mechanical Room	Fair	Boiler, Gas, HVAC, 2000 MBH [B-3]	1	19	10200421
D3030	Roof	Fair	Split System Ductless, Single Zone, 1 TON	1	5	10200420
D3030	Building Exterior	Good	Cooling Tower, (Typical) Open Circuit, 416 TON [CT-1]	1	18	10200564
D3030	Mechanical Room	Fair	Chiller, Water-Cooled, 101 to 150 TON, 130 TON [CHILLER-1]	1	5	10200469
D3030	Mechanical Room	Fair	Chiller, Water-Cooled, 101 to 150 TON, 130 TON [CHILLER-3]	1	4	10200555
D3030	Mechanical Room	Fair	Chilled Water, Chemical Feed Dosing System	1	9	10200558
D3030	Roof	Fair	Split System Ductless, Single Zone, 1 TON	1	4	10200498
D3030	Mechanical Room	Fair	Chiller, Water-Cooled, 101 to 150 TON, 130 TON [CHILLER-2]	1	4	10200560
D3050	Throughout Building	Fair	HVAC System, Hydronic Piping, 2-Pipe	140,398 SF	12	10200482
D3050	Roof	Fair	Air Handler, Exterior AHU, Packaged, 6001 to 8000 CFM, 8000 CFM [AHU NO.6]	1	3	10200419

**Component Condition Report | Kingsview Middle School / Main Building**

UF L3 Code	Location	Condition	Component/Attributes/Capacity	Quantity	RUL	ID
D3050	Roof	Fair	Air Handler, Exterior AHU, Packaged, 4001 to 6000 CFM, 5000 CFM	1	3	10200463
D3050	Mechanical Room	Fair	Supplemental Components, Air Separator, HVAC, 2 IN	1	7	10200417
D3050	Mechanical Room	Fair	Air Handler, Interior AHU, Easy/Moderate Access, 10000 CFM [AHU NO.11]	1	3	10200474
D3050	Mechanical Room	Fair	Pump, Distribution, HVAC Chilled or Condenser Water, 5 HP [P-9]	1	6	10200444
D3050	Mechanical Room	Fair	Pump, Distribution, HVAC Heating Water, 30 HP [PUMP NO.2]	1	5	10200542
D3050	Roof	Fair	Air Handler, Exterior AHU, Packaged, 8001 to 10000 CFM, 10000 CFM	1	3	10200486
D3050	Roof	Fair	Air Handler, Exterior AHU, Packaged, 10001 to 15000 CFM, 12000 CFM [AHU NO.2B]	1	3	10200460
D3050	Mechanical Room	Fair	Supplemental Components, Air Separator, HVAC, 2 IN	1	5	10200578
D3050	Throughout Building	Fair	HVAC System, Ductwork w/ VAV/FCU, Medium Density	140,398 SF	4	10200556
D3050	Mechanical Room	Fair	Supplemental Components, Air Separator, HVAC, 2 IN	1	5	10200526
D3050	Roof	Fair	Air Handler, Exterior AHU, Packaged, 10001 to 15000 CFM, 12000 CFM	1	3	10200471
D3050	Roof	Fair	Air Handler, Exterior AHU, Packaged, 8001 to 10000 CFM, 9000 CFM [AHU NO-1A]	1	3	10200459
D3050	Mechanical Room	Fair	Pump, Distribution, HVAC Heating Water, 10 HP [P-4]	1	7	10200465
D3050	Mechanical Room	Fair	Pump, Distribution, HVAC Heating Water, 7.5 HP [PUMP NO.6]	1	4	10200525
D3050	Mechanical Room	Fair	Pump, Distribution, HVAC Heating Water, 7.5 HP [PUMP NO.5]	1	3	10200425
D3050	Mechanical Room	Fair	Pump, Distribution, HVAC Heating Water, 7.5 HP [PUMP NO 7]	1	3	10200518
D3050	Roof	Fair	Air Handler, Exterior AHU, Packaged, 4001 to 6000 CFM, 6000 CFM [AHU NO.4]	1	3	10200422
D3050	Roof	Fair	Packaged Unit, RTU, Roof-Mounted, 4 TON, 4 TYON [AHU NO.5]	1	2	10200593
D3050	Mechanical Room	Fair	Pump, Distribution, HVAC Heating Water, 10 HP [P-3]	1	7	10200580
D3050	Roof	Fair	Make-Up Air Unit, MUA or MAU, 10000 CFM [MUAU NO.1]	1	5	10200530
D3050	Roof	Fair	Packaged Unit, RTU, Pad or Roof-Mounted, 40 TON [AHU NO.2A]	1	3	10200426
D3050	Mechanical Room	Fair	Pump, Distribution, HVAC Chilled or Condenser Water, 5 HP [P-8]	1	5	10200415
D3050	Mechanical Room	Fair	Supplemental Components, Air Separator, HVAC, 2 IN	1	5	10200505
D3050	Mechanical Room	Fair	Pump, Distribution, HVAC Heating Water, 10 HP [P-3]	1	7	10200552

**Component Condition Report | Kingsview Middle School / Main Building**

UF L3 Code	Location	Condition	Component/Attributes/Capacity	Quantity	RUL	ID
D3050	Mechanical Room	Fair	Pump, Distribution, HVAC Chilled or Condenser Water, 5 HP [PF-020]	1	7	10200506
D3050	Roof	Fair	Air Handler, Exterior AHU, Packaged, 15001 to 20000 CFM, 20000 CFM [AHU NO.10]	1	3	10200468
D3050	Roof	Fair	Air Handler, Exterior AHU, Packaged, 4001 to 6000 CFM, 6000 CFM	1	3	10200512
D3050	Mechanical Room	Fair	Pump, Distribution, HVAC Heating Water, 10 HP [P-4]	1	7	10200504
D3050	Roof	Fair	Air Handler, Exterior AHU, Packaged, 8001 to 10000 CFM, 10000 CFM [AHU NO.7]	1	3	10200477
D3050	Mechanical Room	Fair	Pump, Distribution, HVAC Chilled or Condenser Water, 5 HP [P-10]	1	4	10200567
D3050	Roof	Fair	Air Handler, Exterior AHU, Packaged, 8001 to 10000 CFM, 10000 CFM [AHU NO. 8]	1	3	10200573
D3050	Mechanical Room	Fair	Pump, Distribution, HVAC Heating Water, 30 HP [PUMP NO.1]	1	5	10200509
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 16" Damper, 1500 CFM	1	4	10200583
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 12" Damper, 700 CFM [FAN-19]	1	5	10200431
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 12" Damper, 500 CFM [F-31A]	1	3	10200446
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 28" Damper, 5001 CFM	1	6	10200529
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 24" Damper, 2200 CFM [F-1]	1	4	10200515
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 12" Damper, 200 CFM [F-8]	1	4	10200596
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 12" Damper, 450 CFM [FAN-31]	1	4	10200502
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 12" Damper, 300 CFM	3	7	10200489
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 12" Damper, 200 CFM [FAN-18]	1	3	10200470
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 12" Damper, 700 CFM [FAN-15]	1	3	10200433
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 12" Damper, 100 CFM	1	3	10200432
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 28" Damper, 5001 CFM	1	4	10200480
D3060	Mechanical Room	Fair	Exhaust Fan, Roof or Wall-Mounted, 16" Damper, 1700 CFM [FAN-16]	1	12	10200472
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 12" Damper, 100 CFM [EF-1]	1	16	10200601
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 12" Damper, 400 CFM [FAN-47]	1	9	10200424
D3060	Roof	Good	Exhaust Fan, Centrifugal, 12" Damper, 800 CFM [F-1]	1	23	10200589

## Component Condition Report | Kingsview Middle School / Main Building

UF L3 Code	Location	Condition	Component/Attributes/Capacity	Quantity	RUL	ID
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 28" Damper, 5001 CFM [F-2]	1	3	10200447
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 28" Damper, 5001 CFM	1	3	10200517
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 12" Damper, 200 CFM [FAN-7]	1	3	10200501
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 12" Damper, 500 CFM [F-29]	1	9	10200570
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 16" Damper, 1200 CFM	1	7	10200467
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 16" Damper, 1200 CFM [FAN-12]	1	7	10200565
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 28" Damper, 5001 CFM	1	3	10200587
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 36"Damper, 10000 CFM	1	8	10200571
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 24" Damper, 2100 CFM [F-10]	1	9	10200550
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 12" Damper, 700 CFM [FAN-48]	1	3	10200416
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 12" Damper, 600 CFM [F-13]	1	3	10200410
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 12" Damper, 500 CFM [FAN-9]	1	3	10200522
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 28" Damper, 5001 CFM [F-3]	1	3	10200413
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 12" Damper, 200 CFM [FAN-36]	1	3	10200496
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 12" Damper, 200 CFM [FAN-6]	1	8	10200569
<b>Fire Protection</b>						
D4010	Mechanical Room	Fair	Backflow Preventer, Fire Suppression, 2 IN	1	19	10200597
D4010	Throughout Building	Fair	Fire Suppression System, Existing Sprinkler Heads, by SF	140,398 SF	6	10200590
D4010	Mechanical Room	Fair	Backflow Preventer, Fire Suppression, 6 IN	1	5	10200595
D4010	Throughout Building	Fair	Fire Suppression System, Full System Install/Retrofit, Medium Density/Complexity, Renovate	140,398 SF	13	10200484
D4010	Kitchen	Fair	Fire Suppression System, Commercial Kitchen, per LF of Hood	8 LF	5	10200452
D4030	Kitchen	Fair	Fire Extinguisher, Wet Chemical/CO2	2	7	10200554
<b>Electrical</b>						
D5010	B124	Fair	Automatic Transfer Switch, ATS, 100 AMP	1	11	10200520

## Component Condition Report | Kingsview Middle School / Main Building

UF L3 Code	Location	Condition	Component/Attributes/Capacity	Quantity	RUL	ID	
D5010	B124	Fair	Generator, Diesel, 35 KW	1	5	10200523	
D5020	E126	Fair	Distribution Panel, 277/480 V, 1200 AMP [DP3]	1	4	10200418	
D5020	B124	Fair	Switchgear, 277/480 V, 2500 AMP	1	12	10200575	
D5020	B124	Fair	Secondary Transformer, Dry, Stepdown, 30 KVA	1	4	10200487	
D5020	B124	Fair	Secondary Transformer, Dry, Stepdown, 75 KVA	1	5	10200519	
D5020	B124	Fair	Distribution Panel, 277/480 V, 800 AMP [DP1]	1	5	10200572	
D5020	Mechanical Room	Fair	Switchboard, 120/208 V, 1200 AMP [DP-2]	1	8	10200594	
D5020	B124	Fair	Secondary Transformer, Dry, Stepdown, 30 KVA	1	4	10200510	
D5020	E126	Fair	Secondary Transformer, Dry, Stepdown, 75 KVA	1	5	10200599	
D5030	Mechanical Room	Fair	Variable Frequency Drive, VFD, by HP of Motor, 7.5 HP, Replace/Install	1	6	10200494	
D5030	Mechanical Room	Fair	Variable Frequency Drive, VFD, by HP of Motor, 7.5 HP, Replace/Install	1	7	10200514	
D5030	Throughout Building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	140,398	SF	10	10200483
D5030	Mechanical Room	Fair	Variable Frequency Drive, VFD, by HP of Motor, 7.5 HP, Replace/Install	1	5	10200479	
D5040	Throughout Building	Fair	Interior Lighting System, Full Upgrade, High Density & Standard Fixtures	140,398	SF	5	10200427
D5040	Building Exterior	Fair	Exterior Light, any type, w/ LED Replacement, 100 WATT	2	14	10200454	
D5040	Throughout Building	Fair	Emergency & Exit Lighting System, Full Interior Upgrade, LED	140,398	SF	3	10200576
D5040	Building Exterior	Fair	Exterior Light, any type, w/ LED Replacement, 25 WATT	18	2	10200451	
D5040	Stage	Fair	Stage Lighting System, Full Upgrade, Specialty Fixtures	1,750	SF	9	10200566
<b>Fire Alarm &amp; Electronic Systems</b>							
D6060	Throughout Building	Fair	Intercom/PA System, Public Address Upgrade, Facility-Wide	140,398	SF	3	10200436
D7030	Throughout Building	Fair	Security/Surveillance System, Full System Upgrade, Average Density	140,398	SF	8	10200545
D7050	Main Entrance	Fair	Fire Alarm Panel, Annunciator	1	11	10200574	
D7050	Throughout Building	Fair	Fire Alarm System, Full System Upgrade, Advanced Addressable, Upgrade/Install	140,398	SF	12	10200423
D7050	Throughout Building	Fair	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	140,398	SF	5	10200476

## Component Condition Report | Kingsview Middle School / Main Building

UF L3 Code	Location	Condition	Component/Attributes/Capacity	Quantity	RUL	ID
<b>Equipment &amp; Furnishings</b>						
E1030	Kitchen	Fair	Commercial Kitchen Line, Serving/Warming Equipment	1 LF	4	10200563
E1030	Kitchen	Fair	Commercial Kitchen Line, Serving/Warming Equipment	1 LF	3	10200553
E1030	Kitchen	Fair	Foodservice Equipment, Refrigerator, 1-Door Reach-In	1	3	10200478
E1030	Kitchen	Fair	Foodservice Equipment, Dairy Cooler/Wells	1	3	10200591
E1030	Kitchen	Fair	Foodservice Equipment, Walk-In, Freezer	1	5	10200437
E1030	Kitchen	Fair	Foodservice Equipment, Food Warmer, Tabletop Drawers (Set of 4)	1	4	10200544
E1030	Roof	Fair	Foodservice Equipment, Walk-In, Evaporator for Refrigerator/Freezer, 1/3 HP	1	5	10200475
E1030	Kitchen	Fair	Foodservice Equipment, Walk-In, Freezer	1	5	10200429
E1030	Kitchen	Fair	Foodservice Equipment, Refrigerator, 1-Door Reach-In	1	4	10200445
E1030	Kitchen	Good	Foodservice Equipment, Dairy Cooler/Wells	1	15	10200582
E1030	Kitchen	Fair	Foodservice Equipment, Steam Kettle	1	14	10200531
E1030	Kitchen	Fair	Commercial Kitchen Line, Serving/Warming Equipment	1 LF	4	10200438
E1030	Kitchen	Fair	Foodservice Equipment, Walk-In, Evaporator for Refrigerator/Freezer	1	4	10200532
E1030	Kitchen	Fair	Commercial Kitchen Line, Serving/Warming Equipment	1 LF	4	10200428
E1030	Roof	Fair	Foodservice Equipment, Walk-In, Evaporator for Refrigerator/Freezer, Illegible	1	2	10200507
E1030	Kitchen	Failed	Foodservice Equipment, Food Warmer, Proofing Cabinet on Wheels	1	1	10200585
E1030	Kitchen	Fair	Foodservice Equipment, Range, 2-Burner	1	4	10200543
E1030	Kitchen	Fair	Foodservice Equipment, Walk-In, Evaporator for Refrigerator/Freezer	1	4	10200461
E1030	Kitchen	Fair	Foodservice Equipment, Convection Oven, Double	1	4	10200516
E1030	Kitchen	Fair	Foodservice Equipment, Food Warmer, Tabletop Drawers (Set of 4)	1	4	10200547
E1030	Kitchen	Fair	Foodservice Equipment, Food Warmer, Proofing Cabinet on Wheels	1	3	10200497
E1030	Kitchen	Fair	Foodservice Equipment, Commercial Kitchen, 2-Bowl	1	6	10200600
E1030	Kitchen	Fair	Foodservice Equipment, Convection Oven, Single	1	7	10200457

**Component Condition Report | Kingsview Middle School / Main Building**

UF L3 Code	Location	Condition	Component/Attributes/Capacity	Quantity	RUL	ID
E1030	Kitchen	Fair	Foodservice Equipment, Food Warmer, Tabletop Drawers (Set of 4)	1	4	10200409
E1030	Kitchen	Fair	Foodservice Equipment, Refrigerator, 1-Door Reach-In	1	4	10200584
E1030	Kitchen	Fair	Foodservice Equipment, Icemaker, Freestanding	1	10	10200458
E1030	Kitchen	Fair	Foodservice Equipment, Deep Fryer	1	2	10200441
E1030	Kitchen	Fair	Foodservice Equipment, Commercial Kitchen, 1-Bowl	1	12	10200449
E1030	Kitchen	Fair	Foodservice Equipment, Commercial Kitchen, 3-Bowl	1	6	10200493
E1030	Kitchen	Fair	Foodservice Equipment, Exhaust Hood, 8 to 10 LF	1	6	10200503
E1030	Kitchen	Fair	Foodservice Equipment, Food Warmer, Proofing Cabinet on Wheels	1	4	10200414
E1030	Kitchen	Fair	Foodservice Equipment, Food Warmer, Tabletop Drawers (Set of 4)	1	4	10200568
E1040	Hallways	Fair	Healthcare Equipment, Defibrillator (AED), Cabinet-Mounted	1	6	10200500
E1060	Health room	Fair	Residential Appliances, Refrigerator, 14 to 18 CF	1	4	10200411
E1060	Staff lounge	Fair	Residential Appliances, Refrigerator, 14 to 18 CF	1	3	10200513
E1060	Work room	Fair	Residential Appliances, Refrigerator, 14 to 18 CF	1	8	10200588
E1070	Gymnasium	Fair	Basketball Backboard, Ceiling-Mounted, Operable, Operable	6	20	10200491
E1070	Gymnasium	Fair	Gym Scoreboard, Electronic Standard	1	17	10200495
E1070	Stage	Fair	Theater & Stage Equipment, Flameproof Curtain, Medium Weight Velour	1,750 SF	10	10200464
E2010	Gymnasium	Fair	Bleachers, Telescoping Manual, up to 15 Tier (per Seat)	18	13	10200485

**Accessibility**

Y1060	Break Room	NA	ADA Kitchen & Laundry Areas, Sink, Height/Location/Clearance, Modify	1	0	10818574
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**Component Condition Report | Kingsview Middle School / Community Center**

UF L3 Code	Location	Condition	Component/Attributes/Capacity	Quantity	RUL	ID
<b>Facade</b>						
B2050	Building Exterior	Fair	Exterior Door, Aluminum-Framed & Glazed, Standard Swing	4	6	10200876
<b>Roofing</b>						

## Component Condition Report | Kingsview Middle School / Community Center

UF L3 Code	Location	Condition	Component/Attributes/Capacity	Quantity	RUL	ID
B3060	Roof	Fair	Roof Skylight, per SF of glazing	1,100 SF	11	10200561
<b>Interiors</b>						
C1020	Throughout Building	Fair	Interior Window, Fixed, 24 SF	28	10	10200897
C1030	Throughout Building	Fair	Interior Door, Aluminum-Framed & Glazed, Standard Swing	14	15	10200873
C1030	Throughout Building	Fair	Interior Door, Wood, Solid-Core	28	13	10200870
C1070	Throughout Building	Fair	Suspended Ceilings, Acoustical Tile (ACT)	4,000 SF	3	10200883
C1090	Restrooms	Fair	Toilet Partitions, Plastic/Laminate	12	10	10200887
C2030	Various	Poor	Flooring, Vinyl Tile (VCT), Throughout building	16,000 SF	2	10200894
C2050	Throughout Building	Fair	Ceiling Finishes, Gypsum Board/Plaster	12,000 SF	22	10200878
<b>Plumbing</b>						
D2010	Throughout Building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	16,000 SF	11	10200875
D2010	Restrooms	Fair	Sink/Lavatory, Service Sink, Wall-Hung	4	7	10200898
D2010	Restrooms	Fair	Toilet, Commercial Water Closet	7	6	10200877
D2010	Hallways	Fair	Drinking Fountain, Wall-Mounted, Bi-Level	2	5	10200874
D2010	Restrooms	Fair	Urinal, Standard	3	4	10200879
<b>HVAC</b>						
D3020	Mechanical Mezzanine	Fair	Unit Heater, Electric, 10 kW	1	4	10200891
D3050	Mechanical Mezzanine	Fair	Air Handler, Interior AHU, Easy/Moderate Access, 25000 CFM [AHU NO.15]	1	3	10200872
D3050	Roof	Fair	Air Handler, Exterior AHU, Packaged, 10001 to 15000 CFM, 13000 CFM [AHU NO.3]	1	3	10200488
D3050	Roof	Fair	Air Handler, Exterior AHU, Packaged, 6001 to 8000 CFM, 7000 CFM [AHU NO.9]	1	3	10200524
D3050	Mechanical Mezzanine	Fair	Air Handler, Interior AHU, Easy/Moderate Access, 25000 CFM [AHU NO.16]	1	3	10200881
<b>Fire Protection</b>						
D4010	Throughout Building	Fair	Fire Suppression System, Full System Install/Retrofit, Medium Density/Complexity, Renovate	16,000 SF	11	10200868
D4010	Throughout Building	Fair	Fire Suppression System, Existing Sprinkler Heads, by SF	16,000 SF	6	10200892
<b>Electrical</b>						

## Component Condition Report | Kingsview Middle School / Community Center

UF L3 Code	Location	Condition	Component/Attributes/Capacity	Quantity	RUL	ID
D5020	Electrical IT closet	Fair	Distribution Panel, 120/240 V, 400 AMP [HF]	1	5	10200882
D5020	Electrical IT closet	Fair	Distribution Panel, 277/480 V, 400 AMP [LF]	1	5	10200885
D5020	Electrical IT closet	Fair	Secondary Transformer, Dry, Stepdown, 75 KVA	1	5	10200893
D5020	Electrical IT closet	Fair	Switchboard, 277/480 V, 800 AMP	1	11	10200867
D5030	Mechanical Mezzanine	Fair	Variable Frequency Drive, VFD, by HP of Motor, 15 HP, Replace/Install	1	13	10200895
D5030	Mechanical Mezzanine	Fair	Variable Frequency Drive, VFD, by HP of Motor, 30 HP, Replace/Install	1	4	10200871
D5030	Throughout Building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	16,000 SF	12	10200884
D5030	Mechanical Mezzanine	Fair	Variable Frequency Drive, VFD, by HP of Motor, 30 HP, Replace/Install	1	4	10200889
D5040	Throughout Building	Fair	Emergency & Exit Lighting System, Full Interior Upgrade, LED	16,000 SF	5	10200869
D5040	Throughout Building	Fair	Interior Lighting System, Full Upgrade, High Density & Standard Fixtures	16,000 SF	5	10200896
<b>Fire Alarm &amp; Electronic Systems</b>						
D6060	Throughout Building	Fair	Intercom/PA System, Public Address Upgrade, Facility-Wide	16,000 SF	3	10200886
D7030	Throughout Building	Fair	Security/Surveillance System, Full System Upgrade, Average Density	16,000 SF	5	10200899
D7050	Main Entrance	Fair	Fire Alarm Panel, Annunciator	1	7	10200880
D7050	Throughout Building	Fair	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	16,000 SF	11	10200888

## Component Condition Report | Kingsview Middle School / Site

UF L3 Code	Location	Condition	Component/Attributes/Capacity	Quantity	RUL	ID
<b>Special Construction &amp; Demo</b>						
F1020	Site	Fair	Shed/Gazebo/Shade Structure, Wood or Metal-Framed, Standard, NA	200 SF	10	10200853
<b>Pedestrian Plazas &amp; Walkways</b>						
G2020	Site	Poor	Parking Lots, Pavement, Asphalt, Cut & Patch	8,000 SF	0	10200865
G2020	Site	Fair	Parking Lots, Pavement, Asphalt, Mill & Overlay	92,000 SF	9	10200851
G2020	Parking area	Fair	Parking Lots, Pavement, Asphalt, Seal & Stripe	6,000 SF	2	10816730
G2030	Site	Fair	Sidewalk, Concrete, Large Areas	35,000 SF	17	10200845

## Component Condition Report | Kingsview Middle School / Site

UF L3 Code	Location	Condition	Component/Attributes/Capacity	Quantity	RUL	ID
<b>Athletic, Recreational &amp; Playfield Areas</b>						
G2050	Site	Fair	Sports Apparatus, Baseball, Backstop Chain-Link	1	10	10200850
G2050	Site	Fair	Sports Apparatus, Basketball, Backboard/Rim/Pole	4	3	10200861
G2050	Site	Failed	Sports Apparatus, Player/Dugout Benches, 12' Length	1	1	10200857
G2050	Site	Fair	Athletic Surfaces & Courts, Tennis/Volleyball, Rubber-Acrylic w/ Integral Color, Resurface	12,000 SF	5	10200855
G2050	Site	Fair	Sports Apparatus, Baseball, Backstop Chain-Link	1	9	10200860
G2050	Site	Poor	Athletic Surfaces & Courts, Basketball/General, Asphalt Pavement	9,500 SF	2	10200852
G2050	Site	Fair	Athletic Surfaces & Courts, Tennis/Volleyball, Rubber-Acrylic w/ Integral Color, Resurface	24,000 SF	6	10200864
G2050	Site	Fair	Sports Apparatus, Player/Dugout Benches, 12' Length	9	6	10200863
<b>Sitework</b>						
G2060	Site	Fair	Bike Rack, Fixed 6-10 Bikes	2	14	10200858
G2060	Site	Fair	Park Bench, Wood/Composite/Fiberglass	2	15	10200846
G2060	Site	Fair	Signage, Property, Monument, Replace/Install	1	10	10200843
G2060	Site	Fair	Flagpole, Metal	1	14	10200854
G2060	Site	Fair	Picnic Table, Wood/Composite/Fiberglass	1	7	10200849
G2060	Site	Fair	Bike Rack, Fixed 6-10 Bikes	1	13	10200859
G2060	Site	Fair	Flagpole, Metal	2	20	10200862
G2060	Site	Fair	Fences & Gates, Fence, Chain Link 8'	600 LF	21	10200856
G2060	Site	Fair	Trash Receptacle, Heavy-Duty Fixed Concrete	2	9	10200844
G4050	Site	Fair	Site Light Pole, 40' Height, w/o Base or Fixtures, Replace/Install	12	10	10200848
<b>Utilities</b>						
G4010	Site	Fair	Site Transformer, Liquid Filled, Property-Owned, 500 kVA	1	7	10200847

## Appendix F: Replacement Reserves

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Replacement Reserves Report



3/26/2026

Uniformat Code	Location Description	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost*	Subtotal	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	Deficiency Repair Estimate	
B3060	Roof	10200435	Roof Hatch, Metal, Replace	30	18	12	1	EA	\$1,300.00	\$1,300													\$1,300									\$1,300	
B3060	Roof	10200577	Roof Hatch, Metal, Replace	30	17	13	1	EA	\$1,300.00	\$1,300														\$1,300									\$1,300
B3060	Roof	10200546	Roof Hatch, Metal, Replace	30	10	20	1	EA	\$1,300.00	\$1,300																			\$1,300			\$1,300	
C1010	Hallways & Common Areas	10200538	Movable Partition, Gym Divider, Basic/Manual, Replace	25	21	4	100	SF	\$15.70	\$1,570					\$1,570																	\$1,570	
C1010	Hallways & Common Areas	10200528	Movable Partition, Gym Divider, Basic/Manual, Replace	25	21	4	100	SF	\$15.70	\$1,570					\$1,570																	\$1,570	
C1030	Hallways	10200537	Interior Door, Steel, Fire-Rated at 90 Minutes or Over, Replace	40	38	* 2	28	EA	\$950.00	\$26,600		\$26,600																				\$26,600	
C1030	Main Entrance & Additional Entrance	10200439	Interior Door, Aluminum-Framed & Glazed, Standard Swing, Replace	40	27	13	10	EA	\$1,300.00	\$13,000														\$13,000								\$13,000	
C1030	Throughout Building	10200551	Interior Door, Wood, Solid-Core, Replace	40	27	13	142	EA	\$700.00	\$99,400														\$99,400								\$99,400	
C1030	Hallways	10200443	Interior Door, Steel, Standard, Replace	40	26	14	7	EA	\$600.00	\$4,200															\$4,200							\$4,200	
C1070	Throughout Building	10200440	Suspended Ceilings, Acoustical Tile (ACT), Replace	25	23	2	119838	SF	\$3.50	\$419,433			\$419,433																			\$419,433	
C1090	Restrooms	10200499	Toilet Partitions, Plastic/Laminate, Replace	20	10	10	18	EA	\$750.00	\$13,500											\$13,500											\$13,500	
C1090	Hallways & Common Areas	10200559	Lockers, Steel-Baked Enamel, 12" W x 15" D x 72" H, Replace	20	18	2	225	LF	\$500.00	\$112,500			\$112,500																			\$112,500	
C2010	Throughout Building	10200521	Wall Finishes, any surface, Prep & Paint	10	3	7	224600	SF	\$1.50	\$336,900								\$336,900									\$336,900					\$336,900	
C2030	Auxiliary Gymnasium	10200407	Flooring, Wood, Strip, Replace	30	25	5	1050	SF	\$15.00	\$15,750					\$15,750																	\$15,750	
C2030	Stage	10200534	Flooring, Wood, Strip, Replace	30	23	7	1750	SF	\$15.00	\$26,250								\$26,250														\$26,250	
C2030	Throughout Building	10200527	Flooring, Vinyl Tile (VCT), Replace	15	12	3	110078	SF	\$5.00	\$550,390			\$550,390														\$550,390					\$550,390	
C2030	Library	10200455	Flooring, Carpet, Commercial Tile, Replace	10	3	7	2900	SF	\$6.50	\$18,850								\$18,850								\$18,850						\$18,850	
C2030	Gymnasium	10200434	Flooring, Wood, Sports, Refinish	10	1	9	3700	SF	\$3.48	\$12,876								\$12,876											\$12,876			\$12,876	
C2050	Gymnasium	10200581	Ceiling Finishes, exposed irregular elements, Prep & Paint	10	3	7	3700	SF	\$2.50	\$9,250								\$9,250								\$9,250						\$9,250	
D1010	Elevator	10200490	Elevator Cab Finishes, Standard, Replace	15	10	5	1	EA	\$9,000.00	\$9,000					\$9,000															\$9,000	\$9,000	\$18,000	
D1010	Elevator room	10200412	Elevator Controls, Automatic, 2 Car Cluster, Replace	20	14	6	1	EA	\$7,500.00	\$7,500						\$7,500																\$7,500	
D1010	Elevator room	10200533	Passenger Elevator, Hydraulic, 2 Floors, Renovate	30	14	16	1	EA	\$55,000.00	\$55,000																	\$55,000					\$55,000	
D2010	Throughout Building	10200604	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures), Replace	40	24	16	140398	SF	\$5.00	\$701,990																\$701,990						\$701,990	
D2010	Kitchen	10200536	Sink/Lavatory, Vanity Top, Stainless Steel, Replace	30	25	5	1	EA	\$1,200.00	\$1,200					\$1,200																	\$1,200	
D2010	Restrooms	10200473	Sink/Lavatory, Service Sink, Wall-Hung, Replace	35	28	7	21	EA	\$1,400.00	\$29,400								\$29,400														\$29,400	
D2010	Hallways & Common Areas	10200453	Drinking Fountain, Wall-Mounted, Single-Level, Replace	15	8	7	6	EA	\$1,200.00	\$7,200								\$7,200														\$7,200	
D2010	Restrooms	10200549	Urinal, Standard, Replace	30	23	7	13	EA	\$1,100.00	\$14,300								\$14,300														\$14,300	
D2010	Break room & Office Spaces	10200592	Sink/Lavatory, Vanity Top, Stainless Steel, Replace	30	22	8	6	EA	\$1,200.00	\$7,200								\$7,200														\$7,200	
D2010	Kitchen	10200562	Sink/Lavatory, Vanity Top, Stainless Steel, Replace	30	21	9	1	EA	\$1,200.00	\$1,200									\$1,200													\$1,200	
D2010	Janitor Closet	10200540	Sink/Lavatory, Service Sink, Laundry, Replace	30	18	12	1	EA	\$900.00	\$900													\$900									\$900	
D2010	Restrooms	10200430	Toilet, Commercial Water Closet, Replace	30	17	13	32	EA	\$1,300.00	\$41,600														\$41,600								\$41,600	
D2060	Mechanical Room	10200579	Air Compressor, Tank-Style, Replace	20	9	11	1	EA	\$7,270.00	\$7,270											\$7,270											\$7,270	
D2060	Mechanical Room	10200511	Supplemental Components, Compressed Air Dryer, Process Support, Replace	20	8	12	1	EA	\$5,600.00	\$5,600												\$5,600										\$5,600	
D3020	Mechanical Room	10200481	Boiler, Gas, HVAC, Replace	30	11	19	1	EA	\$50,800.00	\$50,800																	\$50,800					\$50,800	
D3020	Mechanical Room	10200541	Boiler, Gas, HVAC, Replace	30	11	19	1	EA	\$50,800.00	\$50,800																	\$50,800					\$50,800	
D3020	Mechanical Room	10200421	Boiler, Gas, HVAC, Replace	30	11	19	1	EA	\$50,800.00	\$50,800																	\$50,800					\$50,800	
D3020	Mechanical Room	10200442	Unit Heater, Electric, Replace	20	12	8	1	EA	\$2,200.00	\$2,200								\$2,200														\$2,200	
D3020	Mechanical Room	10200602	Boiler Supplemental Components, Expansion Tank, Replace	40	31	9	1	EA	\$2,180.00	\$2,180									\$2,180													\$2,180	
D3020	Mechanical Room	10200448	Boiler Supplemental Components, Expansion Tank, Replace	40	29	11	1	EA	\$2,700.00	\$2,700												\$2,700										\$2,700	
D3020	Mechanical Room	10200539	Boiler Supplemental Components, Expansion Tank, Replace	40	29	11	1	EA	\$2,700.00	\$2,700												\$2,700										\$2,700	
D3020	Mechanical Room	10200508	Boiler Supplemental Components, Expansion Tank, Replace	40	29	11	1	EA	\$2,700.00	\$2,700												\$2,700										\$2,700	
D3020	Mechanical Room	10200603	Boiler Supplemental Components, Expansion Tank, Replace	40	28	12	1	EA	\$2,700.00	\$2,700													\$2,700									\$2,700	
D3020	Mechanical Room	10200535	Boiler Supplemental Components, Expansion Tank, Replace	40	27	13	1	EA	\$2,180.00	\$2,180														\$2,180								\$2,180	
D3030	Mechanical Room	10200555	Chiller, Water-Cooled, 101 to 150 TON, Replace	25	21	4	1	EA	\$112,100.00	\$112,100					\$112,100																	\$112,100	
D3030	Mechanical Room	10200560	Chiller, Water-Cooled, 101 to 150 TON, Replace	25	21	4	1	EA	\$112,100.00	\$112,100					\$112,100																	\$112,100	
D3030	Mechanical Room	10200469	Chiller, Water-Cooled, 101 to 150 TON, Replace	25	20	5	1	EA	\$112,100.00	\$112,100					\$112,100																	\$112,100	
D3030	Building Exterior	10200564	Cooling Tower, (Typical) Open Circuit, Replace	25	7	18	1	EA	\$87,300.00	\$87,300																	\$87,300					\$87,300	
D3030	Roof	10200498	Split System Ductless, Single Zone, Replace	15	11	4	1	EA	\$3,500.00	\$3,500					\$3,500													\$3,500				\$3,500	
D3030	Roof	10200420	Split System Ductless, Single Zone, Replace	15	10	5	1	EA	\$3,500.00	\$3,500					\$3,500																		

Replacement Reserves Report



3/26/2026

Uniformat Code	Location Description	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost*	Subtotal	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	Deficiency Repair Estimate		
D3050	Mechanical Room	10200526	Supplemental Components, Air Separator, HVAC, Replace	15	10	5	1	EA	\$1,980.00	\$1,980						\$1,980															\$1,980	\$3,960		
D3050	Mechanical Room	10200415	Pump, Distribution, HVAC Chilled or Condenser Water, Replace	25	20	5	1	EA	\$6,100.00	\$6,100						\$6,100																\$6,100		
D3050	Mechanical Room	10200505	Supplemental Components, Air Separator, HVAC, Replace	15	10	5	1	EA	\$1,980.00	\$1,980						\$1,980																\$1,980	\$3,960	
D3050	Mechanical Room	10200509	Pump, Distribution, HVAC Heating Water, Replace	25	20	5	1	EA	\$22,000.00	\$22,000						\$22,000																\$22,000		
D3050	Mechanical Room	10200444	Pump, Distribution, HVAC Chilled or Condenser Water, Replace	25	19	6	1	EA	\$6,100.00	\$6,100							\$6,100																\$6,100	
D3050	Mechanical Room	10200417	Supplemental Components, Air Separator, HVAC, Replace	15	8	7	1	EA	\$1,980.00	\$1,980								\$1,980															\$1,980	
D3050	Mechanical Room	10200465	Pump, Distribution, HVAC Heating Water, Replace	25	18	7	1	EA	\$6,800.00	\$6,800								\$6,800															\$6,800	
D3050	Mechanical Room	10200580	Pump, Distribution, HVAC Heating Water, Replace	25	18	7	1	EA	\$6,800.00	\$6,800								\$6,800															\$6,800	
D3050	Mechanical Room	10200552	Pump, Distribution, HVAC Heating Water, Replace	25	18	7	1	EA	\$6,800.00	\$6,800								\$6,800															\$6,800	
D3050	Mechanical Room	10200506	Pump, Distribution, HVAC Chilled or Condenser Water, Replace	25	18	7	1	EA	\$6,100.00	\$6,100								\$6,100																\$6,100
D3050	Mechanical Room	10200504	Pump, Distribution, HVAC Heating Water, Replace	25	18	7	1	EA	\$6,800.00	\$6,800								\$6,800																\$6,800
D3050	Throughout Building	10200482	HVAC System, Hydronic Piping, 2-Pipe, Replace	40	28	12	140398	SF	\$5.00	\$701,990													\$701,990										\$701,990	
D3050	Roof	10200593	Packaged Unit, RTU, Roof-Mounted, 4 TON, Replace	20	18	2	1	EA	\$6,100.00	\$6,100			\$6,100																					\$6,100
D3050	Roof	10200419	Air Handler, Exterior AHU, Packaged, 6001 to 8000 CFM, Replace	20	17	3	1	EA	\$63,700.00	\$63,700				\$63,700																				\$63,700
D3050	Roof	10200463	Air Handler, Exterior AHU, Packaged, 4001 to 6000 CFM, Replace	20	17	3	1	EA	\$41,350.00	\$41,350				\$41,350																				\$41,350
D3050	Mechanical Room	10200474	Air Handler, Interior AHU, Easy/Moderate Access, Replace	30	27	3	1	EA	\$49,000.00	\$49,000				\$49,000																				\$49,000
D3050	Roof	10200486	Air Handler, Exterior AHU, Packaged, 8001 to 10000 CFM, Replace	20	17	3	1	EA	\$86,075.00	\$86,075				\$86,075																				\$86,075
D3050	Roof	10200460	Air Handler, Exterior AHU, Packaged, 10001 to 15000 CFM, Replace	20	17	3	1	EA	\$131,475.00	\$131,475				\$131,475																				\$131,475
D3050	Roof	10200471	Air Handler, Exterior AHU, Packaged, 10001 to 15000 CFM, Replace	20	17	3	1	EA	\$131,475.00	\$131,475				\$131,475																				\$131,475
D3050	Roof	10200459	Air Handler, Exterior AHU, Packaged, 8001 to 10000 CFM, Replace	20	17	3	1	EA	\$86,075.00	\$86,075				\$86,075																				\$86,075
D3050	Roof	10200422	Air Handler, Exterior AHU, Packaged, 4001 to 6000 CFM, Replace	20	17	3	1	EA	\$41,350.00	\$41,350				\$41,350																				\$41,350
D3050	Roof	10200426	Packaged Unit, RTU, Pad or Roof-Mounted, Replace	20	17	3	1	EA	\$75,000.00	\$75,000				\$75,000																				\$75,000
D3050	Roof	10200468	Air Handler, Exterior AHU, Packaged, 15001 to 20000 CFM, Replace	20	17	3	1	EA	\$170,650.00	\$170,650				\$170,650																				\$170,650
D3050	Roof	10200512	Air Handler, Exterior AHU, Packaged, 4001 to 6000 CFM, Replace	20	17	3	1	EA	\$41,350.00	\$41,350				\$41,350																				\$41,350
D3050	Roof	10200477	Air Handler, Exterior AHU, Packaged, 8001 to 10000 CFM, Replace	20	17	3	1	EA	\$86,075.00	\$86,075				\$86,075																				\$86,075
D3050	Roof	10200573	Air Handler, Exterior AHU, Packaged, 8001 to 10000 CFM, Replace	20	17	3	1	EA	\$86,075.00	\$86,075				\$86,075																				\$86,075
D3050	Throughout Building	10200556	HVAC System, Ductwork w/ VAV/FCU, Medium Density, Replace	30	26	4	140398	SF	\$6.00	\$842,388				\$842,388																				\$842,388
D3050	Roof	10200530	Make-Up Air Unit, MUA or MAU, Replace	20	15	5	1	EA	\$48,000.00	\$48,000						\$48,000																		\$48,000
D3060	Roof	10200446	Exhaust Fan, Centrifugal, 12" Damper, Replace	25	22	3	1	EA	\$1,400.00	\$1,400				\$1,400																				\$1,400
D3060	Roof	10200470	Exhaust Fan, Centrifugal, 12" Damper, Replace	25	22	3	1	EA	\$1,400.00	\$1,400				\$1,400																				\$1,400
D3060	Roof	10200433	Exhaust Fan, Centrifugal, 12" Damper, Replace	25	22	3	1	EA	\$1,400.00	\$1,400				\$1,400																				\$1,400
D3060	Roof	10200432	Exhaust Fan, Centrifugal, 12" Damper, Replace	25	22	3	1	EA	\$1,400.00	\$1,400				\$1,400																				\$1,400
D3060	Roof	10200447	Exhaust Fan, Centrifugal, 28" Damper, Replace	25	22	3	1	EA	\$4,000.00	\$4,000				\$4,000																				\$4,000
D3060	Roof	10200517	Exhaust Fan, Centrifugal, 28" Damper, Replace	25	22	3	1	EA	\$4,000.00	\$4,000				\$4,000																				\$4,000
D3060	Roof	10200501	Exhaust Fan, Centrifugal, 12" Damper, Replace	25	22	3	1	EA	\$1,400.00	\$1,400				\$1,400																				\$1,400
D3060	Roof	10200587	Exhaust Fan, Centrifugal, 28" Damper, Replace	25	22	3	1	EA	\$4,000.00	\$4,000				\$4,000																				\$4,000
D3060	Roof	10200416	Exhaust Fan, Centrifugal, 12" Damper, Replace	25	22	3	1	EA	\$1,400.00	\$1,400				\$1,400																				\$1,400
D3060	Roof	10200410	Exhaust Fan, Centrifugal, 12" Damper, Replace	25	22	3	1	EA	\$1,400.00	\$1,400				\$1,400																				\$1,400
D3060	Roof	10200522	Exhaust Fan, Centrifugal, 12" Damper, Replace	25	22	3	1	EA	\$3,080.00	\$3,080				\$3,080																				\$3,080
D3060	Roof	10200413	Exhaust Fan, Centrifugal, 28" Damper, Replace	25	22	3	1	EA	\$4,000.00	\$4,000				\$4,000																				\$4,000
D3060	Roof	10200496	Exhaust Fan, Centrifugal, 12" Damper, Replace	25	22	3	1	EA	\$1,400.00	\$1,400				\$1,400																				\$1,400
D3060	Roof	10200583	Exhaust Fan, Centrifugal, 16" Damper, Replace	25	21	4	1	EA	\$2,400.00	\$2,400					\$2,400																			\$2,400
D3060	Roof	10200515	Exhaust Fan, Centrifugal, 24" Damper, Replace	25	21	4	1	EA	\$3,000.00	\$3,000					\$3,000																			\$3,000
D3060	Roof	10200596	Exhaust Fan, Centrifugal, 12" Damper, Replace	25	21	4	1	EA	\$1,400.00	\$1,400					\$1,400																			\$1,400
D3060	Roof	10200502	Exhaust Fan, Centrifugal, 12" Damper, Replace	25	21	4	1	EA	\$1,400.00	\$1,400					\$1,400																			\$1,400
D3060	Roof	10200480	Exhaust Fan, Centrifugal, 28" Damper, Replace	25	21	4	1	EA	\$4,000.00	\$4,000					\$4,000																			\$4,000
D3060	Roof	10200431	Exhaust Fan, Centrifugal, 12" Damper, Replace	25	20																													

Replacement Reserves Report



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Uniformat Code	Location Description	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost*	Subtotal	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	Deficiency Repair Estimate
D3060	Mechanical Room	10200472	Exhaust Fan, Roof or Wall-Mounted, 16" Damper, Replace	20	8	12	1	EA	\$2,400.00	\$2,400													\$2,400								\$2,400	
D3060	Roof	10200601	Exhaust Fan, Centrifugal, 12" Damper, Replace	25	9	16	1	EA	\$1,400.00	\$1,400																\$1,400					\$1,400	
D4010	Mechanical Room	10200595	Backflow Preventer, Fire Suppression, Replace	30	25	5	1	EA	\$10,500.00	\$10,500						\$10,500															\$10,500	
D4010	Throughout Building	10200590	Fire Suppression System, Existing Sprinkler Heads, by SF, Replace	25	19	6	140398	SF	\$1.07	\$150,226						\$150,226															\$150,226	
D4010	Throughout Building	10200484	Fire Suppression System, Full System Install/Retrofit, Medium Density/Complexity, Renovate	40	27	13	140398	SF	\$14.00	\$1,965,572													\$1,965,572								\$1,965,572	
D4010	Mechanical Room	10200597	Backflow Preventer, Fire Suppression, Replace	30	11	19	1	EA	\$3,200.00	\$3,200																			\$3,200		\$3,200	
D4010	Kitchen	10200452	Fire Suppression System, Commercial Kitchen, per LF of Hood, Replace	20	15	5	8	LF	\$400.00	\$3,200						\$3,200															\$3,200	
D4030	Kitchen	10200554	Fire Extinguisher, Wet Chemical/CO2, Replace	10	3	7	2	EA	\$300.00	\$600								\$600									\$600				\$600	
D5010	B124	10200523	Generator, Diesel, Replace	25	20	5	1	EA	\$40,000.00	\$40,000						\$40,000															\$40,000	
D5010	B124	10200520	Automatic Transfer Switch, ATS, Replace	25	14	11	1	EA	\$8,500.00	\$8,500												\$8,500									\$8,500	
D5020	B124	10200487	Secondary Transformer, Dry, Stepdown, Replace	30	26	4	1	EA	\$6,700.00	\$6,700					\$6,700																\$6,700	
D5020	B124	10200510	Secondary Transformer, Dry, Stepdown, Replace	30	26	4	1	EA	\$6,700.00	\$6,700					\$6,700																\$6,700	
D5020	B124	10200519	Secondary Transformer, Dry, Stepdown, Replace	30	25	5	1	EA	\$10,000.00	\$10,000						\$10,000															\$10,000	
D5020	E126	10200599	Secondary Transformer, Dry, Stepdown, Replace	30	25	5	1	EA	\$10,000.00	\$10,000						\$10,000															\$10,000	
D5020	Mechanical Room	10200594	Switchboard, 120/208 V, Replace	40	32	8	1	EA	\$66,000.00	\$66,000									\$66,000												\$66,000	
D5020	B124	10200575	Switchgear, 277/480 V, Replace	40	28	12	1	EA	\$280,000.00	\$280,000													\$280,000								\$280,000	
D5020	E126	10200418	Distribution Panel, 277/480 V, Replace	30	26	4	1	EA	\$14,000.00	\$14,000					\$14,000																\$14,000	
D5020	B124	10200572	Distribution Panel, 277/480 V, Replace	30	25	5	1	EA	\$10,000.00	\$10,000						\$10,000															\$10,000	
D5030	Throughout Building	10200483	Electrical System, Wiring & Switches, Average or Low Density/Complexity, Replace	40	30	10	140398	SF	\$2.50	\$350,995											\$350,995										\$350,995	
D5030	Mechanical Room	10200479	Variable Frequency Drive, VFD, by HP of Motor, Replace/Install	20	15	5	1	EA	\$6,200.00	\$6,200						\$6,200															\$6,200	
D5030	Mechanical Room	10200494	Variable Frequency Drive, VFD, by HP of Motor, Replace/Install	20	14	6	1	EA	\$6,200.00	\$6,200							\$6,200														\$6,200	
D5030	Mechanical Room	10200514	Variable Frequency Drive, VFD, by HP of Motor, Replace/Install	20	13	7	1	EA	\$6,200.00	\$6,200								\$6,200													\$6,200	
D5040	Building Exterior	10200451	Exterior Light, any type, w/ LED Replacement, Replace	20	18	2	18	EA	\$400.00	\$7,200			\$7,200																		\$7,200	
D5040	Throughout Building	10200576	Emergency & Exit Lighting System, Full Interior Upgrade, LED, Replace	10	7	3	140398	SF	\$0.65	\$91,259				\$91,259									\$91,259								\$91,259	
D5040	Throughout Building	10200427	Interior Lighting System, Full Upgrade, High Density & Standard Fixtures, Replace	20	15	5	140398	SF	\$5.00	\$701,990					\$701,990																\$701,990	
D5040	Stage	10200566	Stage Lighting System, Full Upgrade, Specialty Fixtures, Replace	20	11	9	1750	SF	\$30.00	\$52,500									\$52,500												\$52,500	
D5040	Building Exterior	10200454	Exterior Light, any type, w/ LED Replacement, Replace	20	6	14	2	EA	\$800.00	\$1,600														\$1,600							\$1,600	
D6060	Throughout Building	10200436	Intercom/PA System, Public Address Upgrade, Facility-Wide, Replace	20	17	3	140398	SF	\$1.65	\$231,657				\$231,657																	\$231,657	
D7030	Throughout Building	10200545	Security/Surveillance System, Full System Upgrade, Average Density, Replace	15	7	8	140398	SF	\$2.00	\$280,796									\$280,796												\$280,796	
D7050	Throughout Building	10200476	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	20	15	5	140398	SF	\$3.00	\$421,194					\$421,194																\$421,194	
D7050	Main Entrance	10200574	Fire Alarm Panel, Annunciator, Replace	15	4	11	1	EA	\$1,580.00	\$1,580											\$1,580										\$1,580	
D7050	Throughout Building	10200423	Fire Alarm System, Full System Upgrade, Advanced Addressable, Upgrade/Install	20	8	12	140398	SF	\$6.00	\$842,388												\$842,388									\$842,388	
E1030	Kitchen	10200585	Foodservice Equipment, Food Warmer, Proofing Cabinet on Wheels, Replace	15	14	1	1	EA	\$1,700.00	\$1,700	\$1,700															\$1,700					\$3,400	
E1030	Roof	10200507	Foodservice Equipment, Walk-In, Evaporator for Refrigerator/Freezer, Replace	15	13	2	1	EA	\$3,730.00	\$3,730		\$3,730															\$3,730				\$7,460	
E1030	Kitchen	10200441	Foodservice Equipment, Deep Fryer, Replace	15	13	2	1	EA	\$7,000.00	\$7,000		\$7,000															\$7,000				\$14,000	
E1030	Kitchen	10200553	Commercial Kitchen Line, Serving/Warming Equipment, Replace	20	17	3	1	LF	\$1,000.00	\$1,000				\$1,000																	\$1,000	
E1030	Kitchen	10200478	Foodservice Equipment, Refrigerator, 1-Door Reach-In, Replace	15	12	3	1	EA	\$2,700.00	\$2,700				\$2,700														\$2,700			\$5,400	
E1030	Kitchen	10200591	Foodservice Equipment, Dairy Cooler/Wells, Replace	15	12	3	1	EA	\$3,600.00	\$3,600				\$3,600														\$3,600			\$7,200	
E1030	Kitchen	10200497	Foodservice Equipment, Food Warmer, Proofing Cabinet on Wheels, Replace	15	12	3	1	EA	\$1,700.00	\$1,700				\$1,700														\$1,700			\$3,400	
E1030	Kitchen	10200563	Commercial Kitchen Line, Serving/Warming Equipment, Replace	20	16	4	1	LF	\$1,000.00	\$1,000				\$1,000																	\$1,000	
E1030	Kitchen	10200544	Foodservice Equipment, Food Warmer, Tabletop Drawers (Set of 4), Replace	15	11	4	1	EA	\$5,700.00	\$5,700				\$5,700														\$5,700			\$11,400	
E1030	Kitchen	10200445	Foodservice Equipment, Refrigerator, 1-Door Reach-In, Replace	15	11	4	1	EA	\$2,700.00	\$2,700				\$2,700														\$2,700			\$5,400	
E1030	Kitchen	10200438	Commercial Kitchen Line, Serving/Warming Equipment, Replace	20	16	4	1	LF	\$1,000.00	\$1,000				\$1,000																	\$1,000	
E1030	Kitchen	10200532	Foodservice Equipment, Walk-In, Evaporator for Refrigerator/Freezer, Replace	15	11	4	1	EA	\$4,600.00	\$4,600				\$4,600														\$4,600			\$9,200	
E1030	Kitchen	10200428	Commercial Kitchen Line, Serving/Warming Equipment, Replace	20	16	4	1	LF	\$1,000.00	\$1,000				\$1,000																	\$1,000	
E1030	Kitchen	10200543	Foodservice Equipment, Range, 2-Burner, Replace	15	11	4	1	EA	\$1,700.00	\$1,700				\$1,700														\$1,700			\$3,400	
E1030	Kitchen	10200461	Foodservice Equipment, Walk-In, Evaporator for Refrigerator/Freezer, Replace	15	11	4	1	EA	\$4,600.00	\$4,600				\$4,600														\$4,600			\$9,200	
E1030	Kitchen	10200516	Foodservice Equipment, Convection Oven, Double, Replace	10	6	4	1	EA	\$8,280.00	\$8,280				\$8,280										\$8,280							\$16,560	
E1030	Kitchen	10200547	Foodservice Equipment, Food Warmer, Tabletop Drawers (Set of 4), Replace	15	11	4	1	EA	\$5,700.00	\$5,700				\$5,700														\$5,700			\$11,400	
E1030	Kitchen	10200409	Foodservice Equipment, Food Warmer, Tabletop Drawers (Set of 4), Replace	15	11	4																										

Replacement Reserves Report



3/26/2026

Uniformat Code	Location Description	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost*	Subtotal	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	Deficiency Repair Estimate			
E1030	Kitchen	10200600	Foodservice Equipment, Commercial Kitchen, 2-Bowl, Replace	30	24	6	1	EA	\$2,100.00	\$2,100							\$2,100														\$2,100				
E1030	Kitchen	10200493	Foodservice Equipment, Commercial Kitchen, 3-Bowl, Replace	30	24	6	1	EA	\$2,500.00	\$2,500							\$2,500														\$2,500				
E1030	Kitchen	10200503	Foodservice Equipment, Exhaust Hood, 8 to 10 LF, Replace	15	9	6	1	EA	\$4,500.00	\$4,500							\$4,500														\$4,500				
E1030	Kitchen	10200457	Foodservice Equipment, Convection Oven, Single, Replace	10	3	7	1	EA	\$5,600.00	\$5,600								\$5,600									\$5,600				\$11,200				
E1030	Kitchen	10200458	Foodservice Equipment, Icemaker, Freestanding, Replace	15	5	10	1	EA	\$6,700.00	\$6,700											\$6,700										\$6,700				
E1030	Kitchen	10200449	Foodservice Equipment, Commercial Kitchen, 1-Bowl, Replace	30	18	12	1	EA	\$1,600.00	\$1,600													\$1,600								\$1,600				
E1030	Kitchen	10200531	Foodservice Equipment, Steam Kettle, Replace	20	6	14	1	EA	\$30,000.00	\$30,000															\$30,000						\$30,000				
E1030	Kitchen	10200582	Foodservice Equipment, Dairy Cooler/Wells, Replace	15	0	15	1	EA	\$3,600.00	\$3,600															\$3,600						\$3,600				
E1040	Hallways	10200500	Healthcare Equipment, Defibrillator (AED), Cabinet-Mounted, Replace	10	4	6	1	EA	\$1,500.00	\$1,500							\$1,500										\$1,500				\$3,000				
E1060	Staff lounge	10200513	Residential Appliances, Refrigerator, 14 to 18 CF, Replace	15	12	3	1	EA	\$600.00	\$600				\$600															\$600		\$1,200				
E1060	Health room	10200411	Residential Appliances, Refrigerator, 14 to 18 CF, Replace	15	11	4	1	EA	\$600.00	\$600					\$600														\$600		\$1,200				
E1060	Work room	10200588	Residential Appliances, Refrigerator, 14 to 18 CF, Replace	15	7	8	1	EA	\$600.00	\$600									\$600												\$600				
E1070	Stage	10200464	Theater & Stage Equipment, Flameproof Curtain, Medium Weight Velour, Replace	15	5	10	1750	SF	\$13.00	\$22,750											\$22,750											\$22,750			
E1070	Gymnasium	10200495	Gym Scoreboard, Electronic Standard, Replace	30	13	17	1	EA	\$8,500.00	\$8,500																		\$8,500				\$8,500			
E1070	Gymnasium	10200491	Basketball Backboard, Ceiling-Mounted, Operable, Operable	30	10	20	6	EA	\$7,830.00	\$46,980																				\$46,980		\$46,980			
E2010	Gymnasium	10200485	Bleachers, Telescoping Manual, up to 15 Tier (per Seat), Replace	20	7	13	18	EA	\$300.00	\$5,400														\$5,400								\$5,400			
Y1060	Break Room	10818574	ADA Kitchen & Laundry Areas, Sink, Height/Location/Clearance, Modify	0	28	* 0	1	EA	\$1,100.00	\$1,100		\$1,100																				\$1,100			
<b>Totals, Unescalated</b>											\$0	\$29,400	\$555,963	\$2,015,835	\$1,178,108	\$1,513,804	\$184,626	\$499,780	\$420,376	\$1,289,556	\$393,945	\$286,590	\$1,838,878	\$2,219,711	\$44,080	\$3,600	\$761,590	\$390,430	\$646,290	\$213,376	\$70,450				\$14,556,388
<b>Totals, Escalated (3.0% inflation, compounded annually)</b>											\$0	\$30,282	\$589,821	\$2,202,758	\$1,325,971	\$1,754,914	\$220,453	\$614,666	\$532,520	\$1,682,578	\$529,429	\$396,708	\$2,621,800	\$3,259,720	\$66,675	\$5,609	\$1,222,128	\$645,321	\$1,100,265	\$374,156	\$127,241				\$19,303,016

Kingsview Middle School / Site

Uniformat Code	Location Description	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost*	Subtotal	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	Deficiency Repair Estimate			
F1020	Site	10200853	Shed/Gazebo/Shade Structure, Wood or Metal-Framed, Standard, Replace	30	20	10	200	SF	\$43.60	\$8,720											\$8,720											\$8,720			
G2020	Site	10200865	Parking Lots, Pavement, Asphalt, Cut & Patch	0	28	* 0	8000	SF	\$5.50	\$44,000			\$44,000																				\$44,000		
G2020	Parking area	10816730	Parking Lots, Pavement, Asphalt, Seal & Stripe	5	3	2	6000	SF	\$0.44	\$2,660			\$2,660										\$2,660				\$2,660					\$10,639			
G2020	Site	10200851	Parking Lots, Pavement, Asphalt, Mill & Overlay	25	16	9	92000	SF	\$3.50	\$322,000										\$322,000												\$322,000			
G2030	Site	10200845	Sidewalk, Concrete, Large Areas, Replace	50	33	17	35000	SF	\$9.00	\$315,000																	\$315,000					\$315,000			
G2050	Site	10200857	Sports Apparatus, Player/Dugout Benches, 12' Length, Replace	15	14	1	1	EA	\$450.00	\$450		\$450															\$450					\$900			
G2050	Site	10200852	Athletic Surfaces & Courts, Basketball/General, Asphalt Pavement, Replace	25	23	2	9500	SF	\$6.50	\$61,750			\$61,750																			\$61,750			
G2050	Site	10200861	Sports Apparatus, Basketball, Backboard/Rim/Pole, Replace	25	22	3	4	EA	\$4,750.00	\$19,000				\$19,000																		\$19,000			
G2050	Site	10200855	Athletic Surfaces & Courts, Tennis/Volleyball, Rubber-Acrylic w/ Integral Color, Resurface	10	5	5	12000	SF	\$4.50	\$54,000					\$54,000												\$54,000					\$108,000			
G2050	Site	10200864	Athletic Surfaces & Courts, Tennis/Volleyball, Rubber-Acrylic w/ Integral Color, Resurface	10	4	6	24000	SF	\$4.50	\$108,000						\$108,000											\$108,000					\$216,000			
G2050	Site	10200863	Sports Apparatus, Player/Dugout Benches, 12' Length, Replace	15	9	6	9	EA	\$450.00	\$4,050						\$4,050																\$4,050			
G2050	Site	10200860	Sports Apparatus, Baseball, Backstop Chain-Link, Replace	20	11	9	1	EA	\$5,000.00	\$5,000																						\$5,000			
G2050	Site	10200850	Sports Apparatus, Baseball, Backstop Chain-Link, Replace	20	10	10	1	EA	\$5,000.00	\$5,000																						\$5,000			
G2060	Site	10200849	Picnic Table, Wood/Composite/Fiberglass, Replace	20	13	7	1	EA	\$600.00	\$600								\$600														\$600			
G2060	Site	10200844	Trash Receptacle, Heavy-Duty Fixed Concrete, Replace	25	16	9	2	EA	\$1,400.00	\$2,800																						\$2,800			
G2060	Site	10200859	Bike Rack, Fixed 6-10 Bikes, Replace	20	7	13	1	EA	\$800.00	\$800																	\$800					\$800			
G2060	Site	10200858	Bike Rack, Fixed 6-10 Bikes, Replace	20	6	14	2	EA	\$800.00	\$1,600																	\$1,600					\$1,600			
G2060	Site	10200846	Park Bench, Wood/Composite/Fiberglass, Replace	20	5	15	2	EA	\$600.00	\$1,200																	\$1,200					\$1,200			
G2060	Site	10200843	Signage, Property, Monument, Replace/Install	20	10	10	1	EA	\$3,000.00	\$3,000																						\$3,000			
G2060	Site	10200854	Flagpole, Metal, Replace	30	16	14	1	EA	\$2,500.00	\$2,500																						\$2,500			
G2060	Site	10200862	Flagpole, Metal, Replace	30	10	20	2	EA	\$2,500.00	\$5,000																				\$5,000		\$5,000			
G4010	Site	10200847	Site Transformer, Liquid Filled, Property-Owned, Replace	30	23	7	1	EA	\$80,000.00	\$80,000							\$80,000															\$80,000			
G4050	Site	10200848	Site Light Pole, 40' Height, w/o Base or Fixtures, Replace/Install	40	30	10	12	EA	\$4,000.00	\$48,000																						\$48,000			
<b>Totals, Unescalated</b>											\$0	\$450	\$108,410	\$19,000	\$0	\$54,000	\$112,050	\$83,260	\$0	\$329,800	\$64,720	\$0	\$2,660	\$800	\$4,100	\$55,200	\$108,450	\$317,660	\$0	\$0	\$5,000				\$1,265,559
<b>Totals, Escalated (3.0% inflation, compounded annually)</b>											\$0	\$464	\$115,012	\$20,762	\$0	\$62,601	\$133,794	\$102,399	\$0	\$430,314	\$86,978	\$0	\$3,792	\$1,175	\$6,202	\$86,000	\$174,030	\$525,043	\$0	\$0	\$9,031				\$1,757,596

\* Markup has been included in unit costs.

## Appendix G: Equipment Inventory List

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Index	ID	UFCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
<b>D10 Conveying</b>													
1	10200412	D1010	<b>Elevator Controls</b>	Automatic, 2 Car Cluster		Kingsview Middle School / Main Building	Elevator room	Dover Elevators	EP8020	EH0532	1997		
2	10200533	D1010	<b>Passenger Elevator</b>	Hydraulic, 2 Floors	2500 LB	Kingsview Middle School / Main Building	Elevator room	No dataplate	No dataplate	No dataplate			

Index	ID	UFCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
<b>D20 Plumbing</b>													
1	10200579	D2060	<b>Air Compressor</b>	Tank-Style	2 HP	Kingsview Middle School / Main Building	Mechanical Room	Steel Fab	NA	NA	2016		
2	10200511	D2060	<b>Supplemental Components</b>	Compressed Air Dryer, Process Support	100 CFM	Kingsview Middle School / Main Building	Mechanical Room	Hankison	HPR5-10	19B115HPR5100334	2016		

Index	ID	UFCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
<b>D30 HVAC</b>													
1	10200541	D3020	<b>Boiler [B-1]</b>	Gas, HVAC	2000 MBH	Kingsview Middle School / Main Building	Mechanical Room	Advanced Thermal Hydronics	KN-20	41847328	2014		
2	10200481	D3020	<b>Boiler [B-2]</b>	Gas, HVAC	2000 MBH	Kingsview Middle School / Main Building	Mechanical Room	Advanced Thermal Hydronics	KN-20	41847327	2014		
3	10200421	D3020	<b>Boiler [B-3]</b>	Gas, HVAC	2000 MBH	Kingsview Middle School / Main Building	Mechanical Room	Advanced Thermal Hydronics	KN20	41847326	2014		
4	10200891	D3020	<b>Unit Heater</b>	Electric	10 kW	Kingsview Middle School / Community Center	Mechanical Mezzanine	Mestek	HS-180S	HS7012-96	1997		
5	10200442	D3020	<b>Unit Heater</b>	Electric	6 kW	Kingsview Middle School / Main Building	Mechanical Room	Inaccessible	Inaccessible	Inaccessible			
6	10200448	D3020	<b>Boiler Supplemental Components</b>	Expansion Tank	40 GAL	Kingsview Middle School / Main Building	Mechanical Room	Inaccessible	Inaccessible	Inaccessible	1997		
7	10200603	D3020	<b>Boiler Supplemental Components</b>	Expansion Tank	45 GAL	Kingsview Middle School / Main Building	Mechanical Room	Inaccessible	Inaccessible	Inaccessible	1997		
8	10200539	D3020	<b>Boiler Supplemental Components</b>	Expansion Tank	45 GAL	Kingsview Middle School / Main Building	Mechanical Room	Inaccessible	Inaccessible	Inaccessible	1997		
9	10200535	D3020	<b>Boiler Supplemental Components</b>	Expansion Tank	40 GAL	Kingsview Middle School / Main Building	Mechanical Room				1997		
10	10200602	D3020	<b>Boiler Supplemental Components</b>	Expansion Tank	30 GAL	Kingsview Middle School / Main Building	Mechanical Room				1997		
11	10200508	D3020	<b>Boiler Supplemental Components</b>	Expansion Tank	50 GAL	Kingsview Middle School / Main Building	Mechanical Room				1997		

Index	ID	UFCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
12	10200469	D3030	<b>Chiller</b> [CHILLER-1]	Water-Cooled, 101 to 150 TON	130 TON	Kingsview Middle School / Main Building	Mechanical Room	Trane	RTHB130FLE00LWP000UNN3LF2LF00QU0	U96F05158	1997		
13	10200560	D3030	<b>Chiller</b> [CHILLER-2]	Water-Cooled, 101 to 150 TON	130 TON	Kingsview Middle School / Main Building	Mechanical Room	Trane	RTHB1301LE 001 WP000 NN3LF2LF00QU0	U96L08293	1997		
14	10200555	D3030	<b>Chiller</b> [CHILLER-3]	Water-Cooled, 101 to 150 TON	130 TON	Kingsview Middle School / Main Building	Mechanical Room	Trane	RTHB130FLE00L WP000 NN31 F2LF0000	U96103294	1997		
15	10200564	D3030	<b>Cooling Tower</b> [CT-1]	(Typical) Open Circuit	416 TON	Kingsview Middle School / Main Building	Building Exterior	Baltimore Aircoil Company	VT1-416-NM	U187263601-01-01	2018		
16	10200420	D3030	<b>Split System Ductless</b>	Single Zone	1 TON	Kingsview Middle School / Main Building	Roof	Mitsubishi Electric	MUZ-GE12NA	Illegible			
17	10200498	D3030	<b>Split System Ductless</b>	Single Zone	1 TON	Kingsview Middle School / Main Building	Roof	Fujitsu	Illegible	Illegible			
18	10200558	D3030	<b>Chilled Water</b>	Chemical Feed Dosing System		Kingsview Middle School / Main Building	Mechanical Room						
19	10200567	D3050	<b>Pump</b> [P-10]	Distribution, HVAC Chilled or Condenser Water	5 HP	Kingsview Middle School / Main Building	Mechanical Room	Armstrong Air	DE42002508-015.0	848180			
20	10200580	D3050	<b>Pump</b> [P-3]	Distribution, HVAC Heating Water	10 HP	Kingsview Middle School / Main Building	Mechanical Room	Armstrong Air	765175-381	000802H088	2007		
21	10200552	D3050	<b>Pump</b> [P-3]	Distribution, HVAC Heating Water	10 HP	Kingsview Middle School / Main Building	Mechanical Room	Armstrong Air	765175-381	000602H088	2007		
22	10200465	D3050	<b>Pump</b> [P-4]	Distribution, HVAC Heating Water	10 HP	Kingsview Middle School / Main Building	Mechanical Room	Armstrong Air	765175-381	000502H088	2007		

Index	ID	UFCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
23	10200504	D3050	<b>Pump</b> [P-4]	Distribution, HVAC Heating Water	10 HP	Kingsview Middle School / Main Building	Mechanical Room	Armstrong Air	765175-381	000702H088	2007		
24	10200415	D3050	<b>Pump</b> [P-8]	Distribution, HVAC Chilled or Condenser Water	5 HP	Kingsview Middle School / Main Building	Mechanical Room	Armstrong Air	DE4200H 2506-015.0	848178			
25	10200444	D3050	<b>Pump</b> [P-9]	Distribution, HVAC Chilled or Condenser Water	5 HP	Kingsview Middle School / Main Building	Mechanical Room	Armstrong Air	Illegible	Inaccessible			
26	10200506	D3050	<b>Pump</b> [PF-020]	Distribution, HVAC Chilled or Condenser Water	5 HP	Kingsview Middle School / Main Building	Mechanical Room	Armstrong Air	3X15X8	836213			
27	10200518	D3050	<b>Pump</b> [PUMP NO 7]	Distribution, HVAC Heating Water	7.5 HP	Kingsview Middle School / Main Building	Mechanical Room	Premium efficient motor	R341	NA	1997		
28	10200509	D3050	<b>Pump</b> [PUMP NO.1]	Distribution, HVAC Heating Water	30 HP	Kingsview Middle School / Main Building	Mechanical Room	U.S. Electrical Motors	J36CA	NA	2005		
29	10200542	D3050	<b>Pump</b> [PUMP NO.2]	Distribution, HVAC Heating Water	30 HP	Kingsview Middle School / Main Building	Mechanical Room	U.S. Electrical Motors	J368A	NA	2005		
30	10200425	D3050	<b>Pump</b> [PUMP NO.5]	Distribution, HVAC Heating Water	7.5 HP	Kingsview Middle School / Main Building	Mechanical Room	U.S. Electrical Motors	R3418	NA	1997		
31	10200525	D3050	<b>Pump</b> [PUMP NO.6]	Distribution, HVAC Heating Water	7.5 HP	Kingsview Middle School / Main Building	Mechanical Room	U.S. Electrical Motors	R3418	NA	1997		
32	10200463	D3050	<b>Air Handler</b>	Exterior AHU, Packaged, 4001 to 6000 CFM	5000 CFM	Kingsview Middle School / Main Building	Roof	No dataplate	No dataplate	No dataplate	1997		
33	10200512	D3050	<b>Air Handler</b>	Exterior AHU, Packaged, 4001 to 6000 CFM	6000 CFM	Kingsview Middle School / Main Building	Roof	Trane	No dataplate	No dataplate	1997		

Index	ID	UFCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
34	10200486	D3050	<b>Air Handler</b>	Exterior AHU, Packaged, 8001 to 10000 CFM	10000 CFM	Kingsview Middle School / Main Building	Roof	Trane	No dataplate	No dataplate	1997		
35	10200471	D3050	<b>Air Handler</b>	Exterior AHU, Packaged, 10001 to 15000 CFM	12000 CFM	Kingsview Middle School / Main Building	Roof	Trane	No dataplate	No dataplate	1997		
36	10200573	D3050	<b>Air Handler</b> [AHU NO. 8]	Exterior AHU, Packaged, 8001 to 10000 CFM	10000 CFM	Kingsview Middle School / Main Building	Roof	Trane	No dataplate	No dataplate	1997		
37	10200468	D3050	<b>Air Handler</b> [AHU NO.10]	Exterior AHU, Packaged, 15001 to 20000 CFM	20000 CFM	Kingsview Middle School / Main Building	Roof	No dataplate	No dataplate	No dataplate	1997		
38	10200474	D3050	<b>Air Handler</b> [AHU NO.11]	Interior AHU, Easy/Moderate Access	10000 CFM	Kingsview Middle School / Main Building	Mechanical Room	Trane	Illegible	Illegible	1997		
39	10200872	D3050	<b>Air Handler</b> [AHU NO.15]	Interior AHU, Easy/Moderate Access	25000 CFM	Kingsview Middle School / Community Center	Mechanical Mezzanine	Trane	MCCA025GAN0ABA000H0ECA00C0BC00AAC00AC000000A	K96M11216A	1997		
40	10200881	D3050	<b>Air Handler</b> [AHU NO.16]	Interior AHU, Easy/Moderate Access	25000 CFM	Kingsview Middle School / Community Center	Mechanical Mezzanine	Trane	MCCA025GBN0AAB000E0ECA00C0BC00ABC00AC000000A	K96M11239A	1997		
41	10200460	D3050	<b>Air Handler</b> [AHU NO.2B]	Exterior AHU, Packaged, 10001 to 15000 CFM	12000 CFM	Kingsview Middle School / Main Building	Roof	Trane	No dataplate	No dataplate	1997		
42	10200488	D3050	<b>Air Handler</b> [AHU NO.3]	Exterior AHU, Packaged, 10001 to 15000 CFM	13000 CFM	Kingsview Middle School / Community Center	Roof	Trane	No dataplate	No dataplate	1997		
43	10200422	D3050	<b>Air Handler</b> [AHU NO.4]	Exterior AHU, Packaged, 4001 to 6000 CFM	6000 CFM	Kingsview Middle School / Main Building	Roof	Trane	No dataplate	No dataplate	1997		
44	10200419	D3050	<b>Air Handler</b> [AHU NO.6]	Exterior AHU, Packaged, 6001 to 8000 CFM	8000 CFM	Kingsview Middle School / Main Building	Roof	No dataplate	No dataplate	No dataplate	1997		

Index	ID	UFCODE	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
45	10200477	D3050	<b>Air Handler</b> [AHU NO.7]	Exterior AHU, Packaged, 8001 to 10000 CFM	10000 CFM	Kingsview Middle School / Main Building	Roof	No dataplate	No dataplate	No dataplate	1997		
46	10200524	D3050	<b>Air Handler</b> [AHU NO.9]	Exterior AHU, Packaged, 6001 to 8000 CFM	7000 CFM	Kingsview Middle School / Community Center	Roof	Trane	No dataplate	No dataplate	1997		
47	10200459	D3050	<b>Air Handler</b> [AHU NO-1A]	Exterior AHU, Packaged, 8001 to 10000 CFM	9000 CFM	Kingsview Middle School / Main Building	Roof	Trane	No dataplate	No dataplate	1997		
48	10200530	D3050	<b>Make-Up Air Unit</b> [MUAU NO.1]	MUA or MAU	10000 CFM	Kingsview Middle School / Main Building	Roof	Trane	PS P140SB2743	96-1225	1997		
49	10200426	D3050	<b>Packaged Unit</b> [AHU NO.2A]	RTU, Pad or Roof- Mounted	40 TON	Kingsview Middle School / Main Building	Roof	Trane	No dataplate	No dataplate	1997		
50	10200593	D3050	<b>Packaged Unit</b> [AHU NO.5]	RTU, Roof-Mounted, 4 TON	4 TYON	Kingsview Middle School / Main Building	Roof	Trane	TCD048C40CBC	L46100700D	1997		
51	10200489	D3060	<b>Exhaust Fan</b>	Centrifugal, 12" Damper	300 CFM	Kingsview Middle School / Main Building	Roof	Inaccessible	Inaccessible	Inaccessible			3
52	10200432	D3060	<b>Exhaust Fan</b>	Centrifugal, 12" Damper	100 CFM	Kingsview Middle School / Main Building	Roof	Inaccessible	Inaccessible	Inaccessible	1997		
53	10200583	D3060	<b>Exhaust Fan</b>	Centrifugal, 16" Damper	1500 CFM	Kingsview Middle School / Main Building	Roof	Inaccessible	Inaccessible	Inaccessible	1997		
54	10200467	D3060	<b>Exhaust Fan</b>	Centrifugal, 16" Damper	1200 CFM	Kingsview Middle School / Main Building	Roof	No dataplate	No dataplate	No dataplate			
55	10200529	D3060	<b>Exhaust Fan</b>	Centrifugal, 28" Damper	5001 CFM	Kingsview Middle School / Main Building	Roof	No dataplate	No dataplate	No dataplate			

Index	ID	UFCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
56	10200480	D3060	<b>Exhaust Fan</b>	Centrifugal, 28" Damper	5001 CFM	Kingsview Middle School / Main Building	Roof	No dataplate	No dataplate	No dataplate	1997		
57	10200517	D3060	<b>Exhaust Fan</b>	Centrifugal, 28" Damper	5001 CFM	Kingsview Middle School / Main Building	Roof	No dataplate	No dataplate	No dataplate	1997		
58	10200587	D3060	<b>Exhaust Fan</b>	Centrifugal, 28" Damper	5001 CFM	Kingsview Middle School / Main Building	Roof	No dataplate	No dataplate	No dataplate	1997		
59	10200571	D3060	<b>Exhaust Fan</b>	Centrifugal, 36" Damper	10000 CFM	Kingsview Middle School / Main Building	Roof	No dataplate	No dataplate	No dataplate			
60	10200601	D3060	<b>Exhaust Fan [EF-1]</b>	Centrifugal, 12" Damper	100 CFM	Kingsview Middle School / Main Building	Roof	Greenheck	G-085-D-X	15437849			
61	10200589	D3060	<b>Exhaust Fan [F-1]</b>	Centrifugal, 12" Damper	800 CFM	Kingsview Middle School / Main Building	Roof	Greenheck	CUE-090-V6-1-19-X	25475110	2023		
62	10200515	D3060	<b>Exhaust Fan [F-1]</b>	Centrifugal, 24" Damper	2200 CFM	Kingsview Middle School / Main Building	Roof	No dataplate	No dataplate	No dataplate	1997		
63	10200550	D3060	<b>Exhaust Fan [F-10]</b>	Centrifugal, 24" Damper	2100 CFM	Kingsview Middle School / Main Building	Roof	No dataplate	No dataplate	No dataplate			
64	10200410	D3060	<b>Exhaust Fan [F-13]</b>	Centrifugal, 12" Damper	600 CFM	Kingsview Middle School / Main Building	Roof	No dataplate	No dataplate	No dataplate	1997		
65	10200447	D3060	<b>Exhaust Fan [F-2]</b>	Centrifugal, 28" Damper	5001 CFM	Kingsview Middle School / Main Building	Roof	No dataplate	No dataplate	No dataplate	1997		
66	10200570	D3060	<b>Exhaust Fan [F-29]</b>	Centrifugal, 12" Damper	500 CFM	Kingsview Middle School / Main Building	Roof	No dataplate	No dataplate	No dataplate			

Index	ID	UFCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
67	10200413	D3060	<b>Exhaust Fan</b> [F-3]	Centrifugal, 28" Damper	5001 CFM	Kingsview Middle School / Main Building	Roof	No dataplate	No dataplate	No dataplate	1997		
68	10200446	D3060	<b>Exhaust Fan</b> [F-31A]	Centrifugal, 12" Damper	500 CFM	Kingsview Middle School / Main Building	Roof	Illegible	Illegible	Illegible	1997		
69	10200596	D3060	<b>Exhaust Fan</b> [F-8]	Centrifugal, 12" Damper	200 CFM	Kingsview Middle School / Main Building	Roof	No dataplate	No dataplate	No dataplate	1997		
70	10200565	D3060	<b>Exhaust Fan</b> [FAN-12]	Centrifugal, 16" Damper	1200 CFM	Kingsview Middle School / Main Building	Roof	No dataplate	No dataplate	No dataplate			
71	10200433	D3060	<b>Exhaust Fan</b> [FAN-15]	Centrifugal, 12" Damper	700 CFM	Kingsview Middle School / Main Building	Roof	Illegible	Illegible	Illegible	1997		
72	10200472	D3060	<b>Exhaust Fan</b> [FAN-16]	Roof or Wall-Mounted, 16" Damper	1700 CFM	Kingsview Middle School / Main Building	Mechanical Room	Inaccessible	Inaccessible	Inaccessible			
73	10200470	D3060	<b>Exhaust Fan</b> [FAN-18]	Centrifugal, 12" Damper	200 CFM	Kingsview Middle School / Main Building	Roof	Illegible	Illegible	Illegible	1997		
74	10200431	D3060	<b>Exhaust Fan</b> [FAN-19]	Centrifugal, 12" Damper	700 CFM	Kingsview Middle School / Main Building	Roof	Illegible	Illegible	Illegible			
75	10200502	D3060	<b>Exhaust Fan</b> [FAN-31]	Centrifugal, 12" Damper	450 CFM	Kingsview Middle School / Main Building	Roof	Illegible	Illegible	Illegible	1997		
76	10200496	D3060	<b>Exhaust Fan</b> [FAN-36]	Centrifugal, 12" Damper	200 CFM	Kingsview Middle School / Main Building	Roof	Illegible	Illegible	Illegible	1997		
77	10200424	D3060	<b>Exhaust Fan</b> [FAN-47]	Centrifugal, 12" Damper	400 CFM	Kingsview Middle School / Main Building	Roof	Illegible	Illegible	Illegible			

Index	ID	UFCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
78	10200416	D3060	<b>Exhaust Fan</b> [FAN-48]	Centrifugal, 12" Damper	700 CFM	Kingsview Middle School / Main Building	Roof	Illegible	Illegible	Illegible	1997		
79	10200569	D3060	<b>Exhaust Fan</b> [FAN-6]	Centrifugal, 12" Damper	200 CFM	Kingsview Middle School / Main Building	Roof	Illegible	Illegible	Illegible			
80	10200501	D3060	<b>Exhaust Fan</b> [FAN-7]	Centrifugal, 12" Damper	200 CFM	Kingsview Middle School / Main Building	Roof	Illegible	Illegible	Illegible	1997		
81	10200522	D3060	<b>Exhaust Fan</b> [FAN-9]	Centrifugal, 12" Damper	500 CFM	Kingsview Middle School / Main Building	Roof	Illegible	Illegible	Illegible	1997		

Index	ID	UFCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
<b>D40 Fire Protection</b>													
1	10200597	D4010	<b>Backflow Preventer</b>	Fire Suppression	2 IN	Kingsview Middle School / Main Building	Mechanical Room	No dataplate	No dataplate	No dataplate			
2	10200595	D4010	<b>Backflow Preventer</b>	Fire Suppression	6 IN	Kingsview Middle School / Main Building	Mechanical Room	Illegible	Illegible	2DL0254	1997		
3	10200452	D4010	<b>Fire Suppression System</b>	Commercial Kitchen, per LF of Hood		Kingsview Middle School / Main Building	Kitchen				1997		8
4	10200554	D4030	<b>Fire Extinguisher</b>	Wet Chemical/CO2		Kingsview Middle School / Main Building	Kitchen						2

Index	ID	UFCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
<b>D50 Electrical</b>													
1	10200523	D5010	<b>Generator</b>	Diesel	35 KW	Kingsview Middle School / Main Building	B124	Kohler	35R272	382264	1997		
2	10200520	D5010	<b>Automatic Transfer Switch</b>	ATS	100 AMP	Kingsview Middle School / Main Building	B124	Kohler	K-166341-104	K 69914			
3	10200487	D5020	<b>Secondary Transformer</b>	Dry, Stepdown	30 KVA	Kingsview Middle School / Main Building	B124	GE	9T2309872	Illegible	1997		
4	10200519	D5020	<b>Secondary Transformer</b>	Dry, Stepdown	75 KVA	Kingsview Middle School / Main Building	B124	GE	9T2309144	NA	1997		
5	10200893	D5020	<b>Secondary Transformer</b>	Dry, Stepdown	75 KVA	Kingsview Middle School / Community Center	Electrical IT closet	GE	9T23Q9144	NA	1997		
6	10200510	D5020	<b>Secondary Transformer</b>	Dry, Stepdown	30 KVA	Kingsview Middle School / Main Building	B124	GE	9T2309871	Illegible	1997		
7	10200599	D5020	<b>Secondary Transformer</b>	Dry, Stepdown	75 KVA	Kingsview Middle School / Main Building	E126	GE	9T2309144	NA	1997		
8	10200867	D5020	<b>Switchboard</b>	277/480 V	800 AMP	Kingsview Middle School / Community Center	Electrical IT closet	General Electric	98223	NA	1997		
9	10200594	D5020	<b>Switchboard [DP-2]</b>	120/208 V	1200 AMP	Kingsview Middle School / Main Building	Mechanical Room	GE	069X619103	NA	1997		
10	10200575	D5020	<b>Switchgear</b>	277/480 V	2500 AMP	Kingsview Middle School / Main Building	B124	GE	6180871D01	NA	1997		
11	10200572	D5020	<b>Distribution Panel [DP1]</b>	277/480 V	800 AMP	Kingsview Middle School / Main Building	B124	GE	98223	NA	1997		

Index	ID	UFCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
12	10200418	D5020	<b>Distribution Panel [DP3]</b>	277/480 V	1200 AMP	Kingsview Middle School / Main Building	E126	GE	98223	NA	1997		
13	10200882	D5020	<b>Distribution Panel [HF]</b>	120/240 V	400 AMP	Kingsview Middle School / Community Center	Electrical IT closet	GE	No dataplate	No dataplate	1997		
14	10200885	D5020	<b>Distribution Panel [LF]</b>	277/480 V	400 AMP	Kingsview Middle School / Community Center	Electrical IT closet	GE	No dataplate	No dataplate	1997		
15	10200494	D5030	<b>Variable Frequency Drive</b>	VFD, by HP of Motor	7.5 HP	Kingsview Middle School / Main Building	Mechanical Room	Trane	174Z4575	831704Y300			
16	10200895	D5030	<b>Variable Frequency Drive</b>	VFD, by HP of Motor	15 HP	Kingsview Middle School / Community Center	Mechanical Mezzanine	ABB	Illegible	ACH550-VCR-023A-4+F267	2018		
17	10200871	D5030	<b>Variable Frequency Drive</b>	VFD, by HP of Motor	30 HP	Kingsview Middle School / Community Center	Mechanical Mezzanine	Yaskawa	No dataplate	No dataplate	1997		
18	10200514	D5030	<b>Variable Frequency Drive</b>	VFD, by HP of Motor	7.5 HP	Kingsview Middle School / Main Building	Mechanical Room	Trane	174Z4575	831504Y300			
19	10200479	D5030	<b>Variable Frequency Drive</b>	VFD, by HP of Motor	7.5 HP	Kingsview Middle School / Main Building	Mechanical Room	Trane	174Z4575	831604Y300			
20	10200889	D5030	<b>Variable Frequency Drive</b>	VFD, by HP of Motor	30 HP	Kingsview Middle School / Community Center	Mechanical Mezzanine	Yaskawa	No dataplate	No dataplate	1997		

Index	ID	UFCCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
<b>E10 Equipment</b>													
1	10200449	E1030	<b>Foodservice Equipment</b>	Commercial Kitchen, 1-Bowl		Kingsview Middle School / Main Building	Kitchen						
2	10200600	E1030	<b>Foodservice Equipment</b>	Commercial Kitchen, 2-Bowl		Kingsview Middle School / Main Building	Kitchen				1997		
3	10200493	E1030	<b>Foodservice Equipment</b>	Commercial Kitchen, 3-Bowl		Kingsview Middle School / Main Building	Kitchen				1997		
4	10200516	E1030	<b>Foodservice Equipment</b>	Convection Oven, Double		Kingsview Middle School / Main Building	Kitchen	Blodgett	No dataplate	No dataplate	1997		
5	10200457	E1030	<b>Foodservice Equipment</b>	Convection Oven, Single		Kingsview Middle School / Main Building	Kitchen	Blodgett	HV-100E	041316KE104S			
6	10200591	E1030	<b>Foodservice Equipment</b>	Dairy Cooler/Wells		Kingsview Middle School / Main Building	Kitchen	No dataplate	No dataplate	No dataplate	1997		
7	10200582	E1030	<b>Foodservice Equipment</b>	Dairy Cooler/Wells		Kingsview Middle School / Main Building	Kitchen	Traulsen	RMC49D4	25C00857	2025		
8	10200441	E1030	<b>Foodservice Equipment</b>	Deep Fryer		Kingsview Middle School / Main Building	Kitchen	Frymaster	FMH250BLCSE	9707110028	1997		
9	10200503	E1030	<b>Foodservice Equipment</b>	Exhaust Hood, 8 to 10 LF		Kingsview Middle School / Main Building	Kitchen	Vent master	OM-R-MA	MA-285.1A	1997		
10	10200585	E1030	<b>Foodservice Equipment</b>	Food Warmer, Proofing Cabinet on Wheels		Kingsview Middle School / Main Building	Kitchen	No dataplate	No dataplate	No dataplate	1997		
11	10200497	E1030	<b>Foodservice Equipment</b>	Food Warmer, Proofing Cabinet on Wheels		Kingsview Middle School / Main Building	Kitchen	Delfield	SLHPT29-SHSH	360190-T	1997		

Index	ID	UFCCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
12	10200414	E1030	<b>Foodservice Equipment</b>	Food Warmer, Proofing Cabinet on Wheels		Kingsview Middle School / Main Building	Kitchen	Delfield	SLHPT29-SHSH	360692-T	1997		
13	10200544	E1030	<b>Foodservice Equipment</b>	Food Warmer, Tabletop Drawers (Set of 4)		Kingsview Middle School / Main Building	Kitchen	Delfield	KH-5-NU	70104304M	1997		
14	10200547	E1030	<b>Foodservice Equipment</b>	Food Warmer, Tabletop Drawers (Set of 4)		Kingsview Middle School / Main Building	Kitchen	Delfield	KCFT-60-NU	70104302M	1997		
15	10200409	E1030	<b>Foodservice Equipment</b>	Food Warmer, Tabletop Drawers (Set of 4)		Kingsview Middle School / Main Building	Kitchen	Delfield	Illegible	Illegible	1997		
16	10200568	E1030	<b>Foodservice Equipment</b>	Food Warmer, Tabletop Drawers (Set of 4)		Kingsview Middle School / Main Building	Kitchen	Delfield	KCET-60-NU	70104305M	1997		
17	10200458	E1030	<b>Foodservice Equipment</b>	Icemaker, Freestanding		Kingsview Middle School / Main Building	Kitchen	Ice-O-Matic	Inaccessible	Inaccessible			
18	10200543	E1030	<b>Foodservice Equipment</b>	Range, 2-Burner		Kingsview Middle School / Main Building	Kitchen	No dataplate	No dataplate	No dataplate	1997		
19	10200478	E1030	<b>Foodservice Equipment</b>	Refrigerator, 1-Door Reach-In		Kingsview Middle School / Main Building	Kitchen	Delfield	SLRPT29-SHSH	360673-T	1997		
20	10200445	E1030	<b>Foodservice Equipment</b>	Refrigerator, 1-Door Reach-In		Kingsview Middle School / Main Building	Kitchen	Delfield	SLR56-SH	360678-T	1997		
21	10200584	E1030	<b>Foodservice Equipment</b>	Refrigerator, 1-Door Reach-In		Kingsview Middle School / Main Building	Kitchen	Delfield	SLRPT29-SHSH	360672-T	1997		
22	10200531	E1030	<b>Foodservice Equipment</b>	Steam Kettle		Kingsview Middle School / Main Building	Kitchen	No dataplate	No dataplate	No dataplate			

Index	ID	UFCODE	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
23	10200532	E1030	<b>Foodservice Equipment</b>	Walk-In, Evaporator for Refrigerator/Freezer		Kingsview Middle School / Main Building	Kitchen	Inaccessible	Inaccessible	Inaccessible	1997		
24	10200461	E1030	<b>Foodservice Equipment</b>	Walk-In, Evaporator for Refrigerator/Freezer		Kingsview Middle School / Main Building	Kitchen	Cold Zone	AA28-122 B	C9715272-031	1997		
25	10200475	E1030	<b>Foodservice Equipment</b>	Walk-In, Evaporator for Refrigerator/Freezer	1/3 HP	Kingsview Middle School / Main Building	Roof	Trenton	TESA030L6-HT3B-F	122303970			
26	10200507	E1030	<b>Foodservice Equipment</b>	Walk-In, Evaporator for Refrigerator/Freezer	Illegible	Kingsview Middle School / Main Building	Roof				1997		
27	10200437	E1030	<b>Foodservice Equipment</b>	Walk-In, Freezer		Kingsview Middle School / Main Building	Kitchen	Bally	Illegible	Illegible	1997		
28	10200429	E1030	<b>Foodservice Equipment</b>	Walk-In, Freezer		Kingsview Middle School / Main Building	Kitchen	Bally	3675.875K-4-W	DX9708860-01	1997		
29	10200500	E1040	<b>Healthcare Equipment</b>	Defibrillator (AED), Cabinet-Mounted		Kingsview Middle School / Main Building	Hallways						

Index	ID	UFCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
<b>G40 Electrical Site Improvements</b>													
1	10200847	G4010	<b>Site Transformer</b>	Liquid Filled, Property-Owned	500 kVA	Kingsview Middle School Site / Site					1997		